

State of Texas

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County of Galveston

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**Second Amendment to
Agreement for Architectural/Engineering Services
Relating to the Galveston County Mental Health and Wellness Center**

I. Preamble

Whereas, the County of Galveston, Texas (County) and Huitt-Zollars, Inc., each of whom is a Party hereto and who are collectively referred to herein as the Parties, have entered into that Agreement by and between the County of Galveston and Huitt-Zollars Relating to the Galveston County Mental Health and Wellness formerly referred to as Mental Health Extended Observation Unit Facility (Agreement) dated November 13, 2023.

Whereas, the Parties have determined that additional services for continued Construction Administration services due to the extended project construction timeline are necessary - Exhibit A attached. The Parties wish to amend the Agreement to increase funding by \$64,514.93 amending the maximum amount payable under the Agreement to \$1,078,607.93.

Now Therefore, it is mutually agreed by and between the Parties as follows:

II. Terms

1. **Recitals true.** The Parties acknowledge and agree that the Recitals set forth in the Preamble above are true and correct.
2. **Amended Terms.** The Parties **AMEND** the Agreement to raise the maximum amount payable under the Agreement to \$1,078,607.93.
3. **Effective Date.** This Second Amendment shall be effective on and from June 11, 2025.
4. **Amending of Agreement.** By signing this Second Amendment, the Parties expressly understand and agree that its terms shall become a part of the Agreement as if they were set forth word for word therein and all provisions in the Agreement that are contrary to the provisions in this Second Amendment are deemed amended so as to be in compliance with the terms of this First Amendment. This Second Amendment shall be binding upon the Parties hereto and their respective successors and assigns.
5. **Authority to Bind.** Each Party represents and warrants for itself that the individual executing this Second Amendment on its behalf has the full power and authority to do so and to legally bind the Party to all the terms and provisions of this Second Amendment and that this Second Amendment constitutes the legal, valid, and binding agreement of each Party hereto.

This Second Amendment to the Agreement referenced herein is hereby **EXECUTED** by the Parties hereto, each Party acting by and through its duly official as required by law.

Galveston County:

By: _____
Mark Henry, County Judge

Date: _____

Huitt-Zollars, Inc.

By: _____
Allison Marshall, AIA
Senior Vice President

Date: 07/17/2026

ATTEST

_____, County Clerk

Date: _____

**AMENDMENT TO AN AGREEMENT
AUTHORIZATION FOR ADDITIONAL SERVICES**

Date: June 3, 2026
Attn: Misty Witmer, Director/Chief Information Officer
Client: Galveston County
Project: Mental Health Extended Observation Unit Facility
HZ Job Number: R316595.02

Client hereby authorizes Huitt-Zollars, Inc. to perform the following Additional Services as described below:

It is understood and agreed that this authorization is an Amendment to the original Agreement between Client and Huitt-Zollars, Inc. executed November 13, 2023 and incorporates by reference the terms and conditions of said Agreement.

Scope for Additional Services:

Huitt-Zollars shall provide additional Construction Administration services due to the extended project construction timeline. The services provided in the original Agreement included: Twenty-four (24) on-site meetings and field observations, six (6) virtual OAC meetings, one (1) punch walk, and one (1) final walk, over the course of a 50-week construction schedule.

Construction Change Order 01 extended the construction schedule by Two Hundred and Eight (208 days) to a new Substantial Completion date of June 11, 2025. HZ Amendment 01, dated July 22, 2024 addressed our contractual obligation for this revised construction schedule.

Construction Change Directive 001 (CCD-001) revises the substantial completion date from June 11, 2025 to January 13, 2026.

HZ requests additional fee for the additional 31.5 weeks of CA services and additional site visits beyond contractual scope of services.

The additional CA fee requested in ASR-02 is explicitly derived from the CCD-001 schedule extension, based on critical path impacts. CCD-001 documents a 216-day critical path impact, moving Substantial Completion from June 11, 2025 to January 13, 2026. ASR-02 converts this documented schedule extension into 31.5 weeks of continued Construction Administration services, consistent with the original contract's time-based CA assumptions. The fee is therefore a direct, proportional response to the added duration and additional meetings required, reflected in the CCD-001 timeline.

The following chart illustrates this information further:

Item	Source	Value
Prior SC	Executed COs / Amendment 01	June 11, 2025
Revised SC	CCD-001	January 13, 2026
Net Extension	CCD-001 CP analysis	216 days
Business Weeks Equivalent	Calendar conversion	31 weeks
CA Time Extension	ASR-02	31.5 weeks
Basis of Fee	Contractual CA duration and additional meetings	Time-based

Exhibit A provides additional information on the critical path schedule impacts and related CPRs as well as specific time impacts for each CPR.

Exhibit B provides detailed breakdown of Huitt Zollars time and additional meetings required for the additional duration of CA duties.

Compensation for Additional Services shall be:

Additional services will be completed on a lump sum basis for the sum of **Sixty-Four Thousand, Five Hundred Fourteen Dollars and Ninety-Three Cents (\$64,514.93)**.

In review of the previously submitted ASR for CA time extension, and in effort to support project closeout and demonstrate good-faith cooperation, HZ has elected to apply a voluntary, one-time fee reduction to the requested additional services fee. This fee reduction is provided without admission of fault or responsibility and does not alter the contractual basis for the services performed.

In addition, and in further support of project closeout, HZ has agreed to incorporate an additional voluntary fee reduction associated with the dumpster enclosure scope identified in Exhibit C. This supplemental reduction is provided as a one-time commercial accommodation to facilitate final agreement on Amendment No. 02.

This additional reduction is similarly provided without admission of fault or responsibility, does not modify the underlying basis of the additional services, and does not constitute acceptance of responsibility for scope, design changes, or construction-related decisions associated with the dumpster enclosure item.

Both fee reductions described herein are project-specific, non-precedent setting accommodations and are made solely in the interest of resolving this matter and supporting timely project closeout. These reductions do not waive, release, or modify any rights, claims, or entitlements of Huitt-Zollars under the Agreement, all of which are expressly reserved.

Description	Amount
Total Additional Services for Additional CA	\$90,046.60
One Time Fee Reduction	(\$12,000.00)
Dumpster Enclosure Reduction	(\$13,531.67)
Total Contract Amendment Amount	\$64,514.93

Project Fee Recap

Description	Amount
Base Contract Executed	\$805,093.00
Amendment 01 Executed	\$209,000.00
Proposed Amendment 02	\$64,514.93
Proposed Final Total Contract Amount	\$1,078,607.93

The parties have caused this Amendment to be executed as of the dates written below.

Huitt-Zollars, Inc.

By: 

Print Name: Allison Marshall

Title: Senior Vice President

Date: 06/03/2026

County of Galveston

By:

Print Name: Mark Henry

Title: County Judge

Date:

EXHIBIT B

The following is a detailed breakdown of the additional required meetings and time to support the extended CA duties for the project.

Huitt-Zollars Hours R316595.02									
Huitt-Zollars		Wage Rates	NO. OF HOURS	REVISED HZ FEE (EXTENDED SCHEDULE)					
Galveston County - Hourly Rates		2025	2025	Cost EXTENSION					
				06.11.25-01.13.26 (31.5 wks)					
Principal / Principal-In-Charge	Colwell/ Allison Marshall	\$ 325.00	30	\$ 9,750		Additional 10 Weeks of CA Phase Tasks			
Sr. Project Manager		\$ 315.00	0	\$ -					
Quality Manager		\$ 300.00	0	\$ -					
Project Manager	Michael Rennard	\$ 245.00	60	\$ 14,700		Additional 20 Weeks of CA Phase Tasks			
Sr. Architect	Daniel Huynh	\$ 250.00	120	\$ 30,000		Additional 30 Weeks of CA Phase Tasks			
Architect		\$ 200.00							
Architect Intern 1		\$ 110.00							
Architect Intern 2	Ashley Feyes	\$ 125.00	20	\$ 2,500		Additional 8 Weeks of CA Phase Tasks			
Architect Intern 3		\$ 155.00							
Sr. Planner		\$ 315.00							
Planner		\$ 165.00							
Sr. Designer		\$ 175.00							
Interior Designer		\$ 125.00							
Interior Designer Intern		\$ 100.00							
Project Support		\$ 100.00							
			230	\$ 56,950.00		SUB TOTAL ADDITIONAL 30 WEEKS CA			
Additional Trips 28 (3.5 Hrs / trip)									
Sr. Architect	Daniel Huynh	\$ 250.00	98	\$ 24,500.00		Cost based on 28 Additional Trips to Site for OAC			
						\$ 81,450.00	SUB TOTAL ADDITIONAL MEETINGS ON SITE + ADDITIONAL 30 WEEKS CA.		
						\$ 81,450.00	HUITT-ZOLLARS COST		
						\$ 5,105.00	E&C (MEP)		
						\$ 323.30	Dally (Structural)		
						\$ 452.50	Dally (Civil Engineering)		
						\$ 1,200.00	Human Experience (Behavior Health Consultant)		
						\$ 580.00	Atlas Consulting (Technology)		
						\$ 935.80	HZ (Landscape Architect)		
						\$ 90,046.60	SUBTOTAL ADDITIONAL COST		

Description	Amount
Total Additional Services for Additional CA	\$90,046.60
One Time Fee Reduction	(\$12,000.00)
Dumpster Enclosure Reduction	(\$13,531.67)
Total Contract Amendment Amount	\$64,514.93

GCMHWC
Change Order Log
2/16/2026

GCMHWC - Change Order Log - 2/25/2026

Project Name:	GCMHWC	Original Contract Value	\$ 8,348,487.00
Project Number:	298	Changes approved via Contract Change Order	\$ 2,945,541.62
Project Manager:	Sam Chenoweth	Changes approved via Allowance Authorization	\$ 381,797.33
Project Coordinator:	Andrea Willis	Current Contract Amount (2/16/26)	\$ 11,675,825.95
Superintendent:	Jared Sweeten	Changed Pending (CCD-001)	\$ 418,751.41
Date Updated:	2/16/2026	Total Contract at Completion (Includes CCD-001)	\$ 11,712,771.05

<- No change in contract value. Not Factored into "Current Contract Amount (2/16/26)"

Original Schedule Completion Date	11/15/2024
Approved CO-1 and CO-2 Extension	208
Contractual Completion after CO-1 and CO-2	6/11/2025
Required CCD-001 Extension	216
Contractual Completion after CCD-001	1/13/2026

<- Maximum Critical Path Impact of CPRs included on CCD-001



											Source of Change																	
ASI #	PR #	Date Initiated	Date Submitted	Date Scope Completed	CPR #	Description of Change	Proposed Cost	Approved Change to Contract	Approved Allowance Authorization	CCD-001 Cost (Submitted/Pending)	OWNER	ARCHITECT/ENGINEER	CONTRACTOR	DESIGN COORDINATION	UNFORESEEN	AHJ/Code Enforcement	OTHER (AEA/Allowance, Code)	Isolated Critical Path Substantial Completion Date	Isolated Critical Path Impact on Substantial Completion	Isolated Critical Path Final Completion Date	Isolated Critical Path Impact on Final Completion	Status	CO#	AEA #	CCD #	Notes		
001		3/13/2024	5/23/2024		1	Room reconfigurations, dumpster and generator enclosure changes	\$ -	\$ -														CLOSED						
	01 (IFP)	6/27/2024	7/22/2024		2	Structure Changes as Required by code	\$ 1,952,385.13	\$ 1,952,385.13										X				208 APPROVED	1			Full Backup Available on Signed Change Order 1		
	01 (IFP)	6/27/2024	7/25/2024		3	Site Utilities Changes	\$ 288,948.25	\$ 288,948.25										X				208 APPROVED	1			Full Backup Available on Signed Change Order 1		
	01 (IFP)		7/25/2024		4	Strutural Alternates - (Converted to Allowance)	\$ 307,697.15	\$ 307,697.15										X				208 APPROVED	1			Full Backup Available on Signed Change Order 1		
	01 (IFP)		7/25/2024		5	Structure Changes as Required by Code - FMEP	\$ 112,010.17	\$ 112,010.17										X				208 APPROVED	2			Full Backup Available on Signed Change Order 2		
	01 (IFP)		9/30/2024		6	Structure Changes as Required by Code - Curtainwall Changes	\$ 85,667.98															REVISED						
	01 (IFP)		1/9/2025		6r1	Structure Changes as Required by Code - Curtainwall Changes	\$ 68,512.38															REJECTED				To Address in PR-08		
	N/A		9/30/2024		7	Removal of Pier Obstructions	\$ 32,377.61		\$ 32,377.61							X						0 APPROVED		2		Full Backup Available on Signed AEA 2		
	N/A		9/30/2024		8	Coping Color Selection Change	\$ -															REJECTED						
	01	8/16/2024	9/30/2024		9	Tree Protection & Selective Tree Removal (AEA)	\$ 20,234.54		\$ 20,234.54		X											0 APPROVED		2		Full Backup Available on Signed AEA 2		
	01	8/16/2024	10/23/2024		10	Added Termite Treatment (AEA)	\$ 4,042.07		\$ 4,042.07		X											0 APPROVED		2		Full Backup Available on Signed AEA 2		
	07		10/30/2024		11	Courtyard Drainage System Changes	\$ 23,963.50															REJECTED						
	06		10/30/2024		12	Added Lighting @ Parking	\$ 14,061.31															REVISED						
	06		1/13/2025		12r1	Added Lighting @ Parking - r1	\$ 15,830.61		\$ 15,830.61		X											0 APPROVED		2		Full Backup Available on Signed AEA 2		
	04	9/24/2024	1/27/2025		13	Satellite Catering	\$ 58,295.40															REVISED				Incorrectly applied FRP credit		
	04	9/24/2024	1/27/2025		13r1	Satellite Catering	\$ 45,315.30															REVISED						
	04	9/24/2024	1/30/2025		13r2	Satellite Catering - Incl Equipment	\$ 212,117.93															REVISED						
	04	9/24/2024	2/20/2025		13r4	Satellite Catering - Incl Equipment	\$ 211,850.66	\$ 211,850.66				X										0 APPROVED	3			and a credit from CPR 4 of \$307,697.15. Full Backup Available on Signed Change Order 3		
	03	9/8/2024	11/22/2024		14	Access Control System & Electrical Changes	\$ 248,450.42															REVISED						
	03	9/8/2024	1/6/2025		14r1	Access Control System & Electrical Changes - rev1	\$ 376,175.49															REVISED						
	03	9/8/2024	1/8/2025		14r2	Access Control System & Electrical Changes - rev2	\$ 410,154.20															REVISED						
	03	9/8/2024	1/22/2025		14r3	Access Control System & Electrical Changes - rev3	\$ 419,711.74															REVISED						
	03	9/8/2024	2/5/2025		14r4	Access Control System & Electrical Changes - rev4	\$ 381,962.76	\$ 72,650.26	\$ 309,312.50		X											0 APPROVED	3			and a credit from CPR 4 of \$307,697.15. Full Backup Available on Signed Change Order 3		
	08	1/9/2025	4/28/2025	9/11/2025	15	PR-08 - HVAC and Electrical at IT Room, Concrete Sidewalk, Storefront Changes	\$ 120,048.13			\$ 120,048.13		X		X					12/23/2025	195	1/6/2026	209 SUBMITTED			1	Notes: 1. See 'CCD 001 Summary' document for CPR-15 (Change Proposal Request) justification details		
	09	2/14/2025	3/18/2025		16	PR-09	\$ 44,288.72															REVISED				Followed up 5/12/25		
	09	2/10/2025	3/6/2025	8/5/2025	16r1	PR-09 -Poured in Place Rubber Flooring and added miscellaneous specialties	\$ 43,171.98			\$ 43,171.98		X		X					9/30/2025	111	10/14/2025	125 SUBMITTED			1	1. See 'CCD 001 Summary' document for CPR-15 (Change Proposal Request) justification details		
	10	3/3/2025	4/28/2025		17	PR-10 - Accent Paint at Mural Locations Indicated in PR-10	\$ 8,545.72															REVISED				Followed up 5/12/25		
	10	3/3/2025	6/4/2025		17r1	PR-10 - Accent Paint at Mural Locations Indicated in PR-10	\$ -															REJECTED				Revised on 6/4/2025		
	N/A	4/22/2025	5/6/2025	8/12/2025	18r1	Millwork Submittal Changes - Adding additional millwork at seats near terrarium and additional milling for leading edges	\$ 9,238.30			\$ 9,238.30	X			X					9/16/2025	97	9/30/2025	111 SUBMITTED			1	1. See 'CCD 001 Summary' document for CPR-15 (Change Proposal Request) justification details		
	N/A	5/13/2025	6/10/2025		19	Window Shades and Film	\$ 10,590.64															REVISED				1 Sent 6/12/25		
	N/A	5/13/2025	6/10/2025	8/22/2025	19r1	Window Shades and Film	\$ 8,869.09			\$ 8,869.09	X								9/26/2025	107	10/10/2025	121 SUBMITTED			1	1. See 'CCD 001 Summary' document for CPR-15 (Change Proposal Request) justification details		
	11	5/13/2025	6/12/2025		20	Intrusion Detection	\$ 19,080.97															REJECTED				Sent 6/12/25		
	13	6/5/2025	6/18/2025	1/28/2026	21	PR-13 - Signage Throughout Building	\$ 63,376.05			\$ 63,376.05	X								1/13/2026	216	1/28/2026	231 SUBMITTED			1	1. See 'CCD 001 Summary' document for CPR-15 (Change Proposal Request) justification details		
	14	7/3/2025	11/5/2025		22	PR-14 - Valley Gutter and Misc. Exterior/Clarifications and Fencing	\$ 27,782.15															REVISED						
	14	7/3/2025	10/17/2025	1/29/2026	22r1	PR-14 - Valley Gutter and Misc. Exterior/Clarifications and Fencing	\$ 27,782.15			\$ 27,782.15	X	X		X	X				7/30/2025	49	1/29/2026	232 SUBMITTED			1	1. See 'CCD 001 Summary' document for CPR-15 (Change Proposal Request) justification details		
	15	8/15/2025			23	PR-15 - Concrete Stair at Terrarium - Aluminum Stair																REJECTED						
	16	9/4/2025	9/24/2025	2/13/2026	24	PR-16 - HVAC and Diffuser Changes	\$ 20,002.37			\$ 20,002.37			X	X					10/14/2025	125	2/13/2026	247 SUBMITTED			1	Notes: 1. See 'CCD 001 Summary' document for CPR-15 (Change Proposal Request) justification details		
	17	9/4/2025			25	PR-17 - Diffusers at Social Area - In PR-16																CLOSED						
	N/A	8/19/2025	9/10/2025	10/8/2025	26	Impact and Tap Fees	\$ 100,048.07			\$ 100,048.07							X		11/12/2025	29	11/26/2025	29 SUBMITTED			1	Notes: 1. See 'CCD 001 Summary' document for CPR-15 (Change Proposal Request) justification details		
	N/A	9/24/2025	10/7/2025	1/29/2026	27	Spray Foam Insulation	\$ 9,235.16			\$ 9,235.16	X			X					7/30/2025	49	1/29/2026	232 SUBMITTED			1	Notes: 1. See 'CCD 001 Summary' document for CPR-15 (Change Proposal Request) justification details		
	N/A	10/7/2025	10/7/2025	10/23/2025	28	Cameras	\$ 9,480.11			\$ 9,480.11	X			X					7/30/2025	49	10/23/2025	134 SUBMITTED			1	Notes: 1. See 'CCD 001 Summary' document for CPR-15 (Change Proposal Request) justification details		
	N/A	10/20/2025	10/17/2025	1/29/2026	29	Anti-ligature Security Mirrors and Loading Dock Handrails	\$ 7,500.00			\$ 7,500.00	X	X					X		7/30/2025	49	1/29/2026	232 SUBMITTED			1	Notes: 1. See 'CCD 001 Summary' document for CPR-15 (Change Proposal Request) justification details		
								\$ 2,945,541.62	\$ 381,797.33	\$ 418,751.41										216 <-Max		247 <-Max						

GCMHWC
CCD-001
High Level Change
Proposal Request (CPR)
Summary

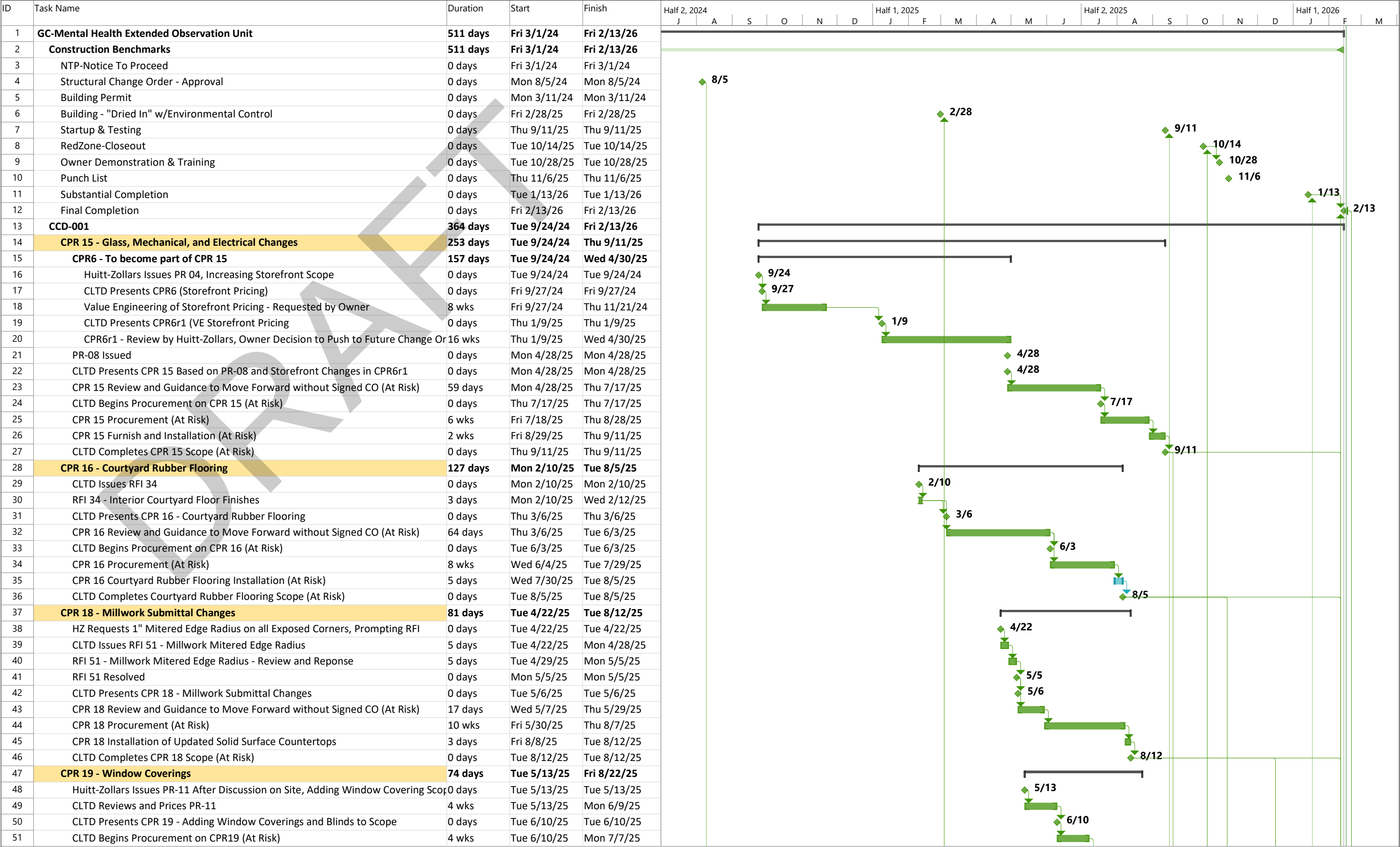
GCMHWC - CCD-001 CPR Summary - 2/16/2026

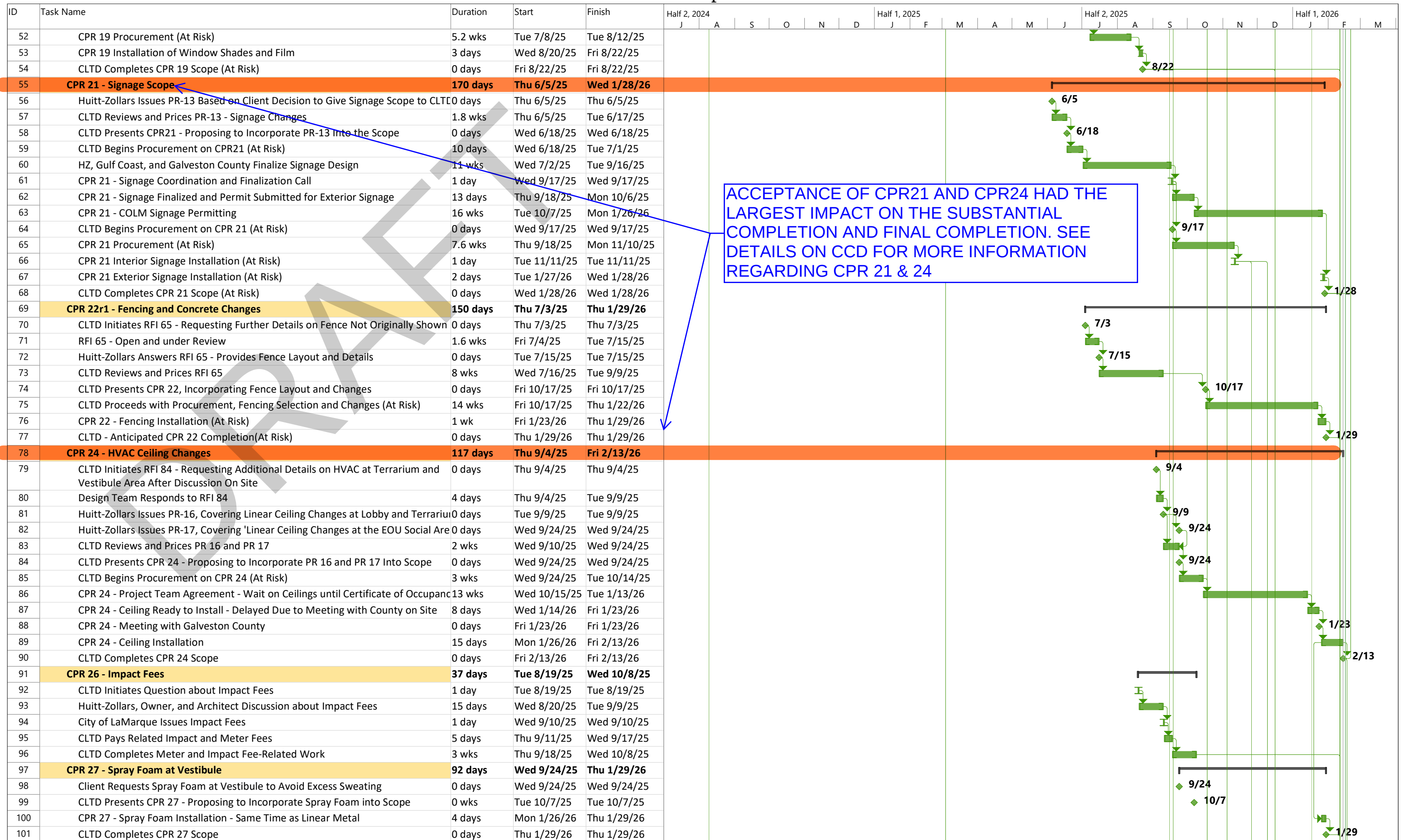
Summary Table of CPRs (CCD-001)

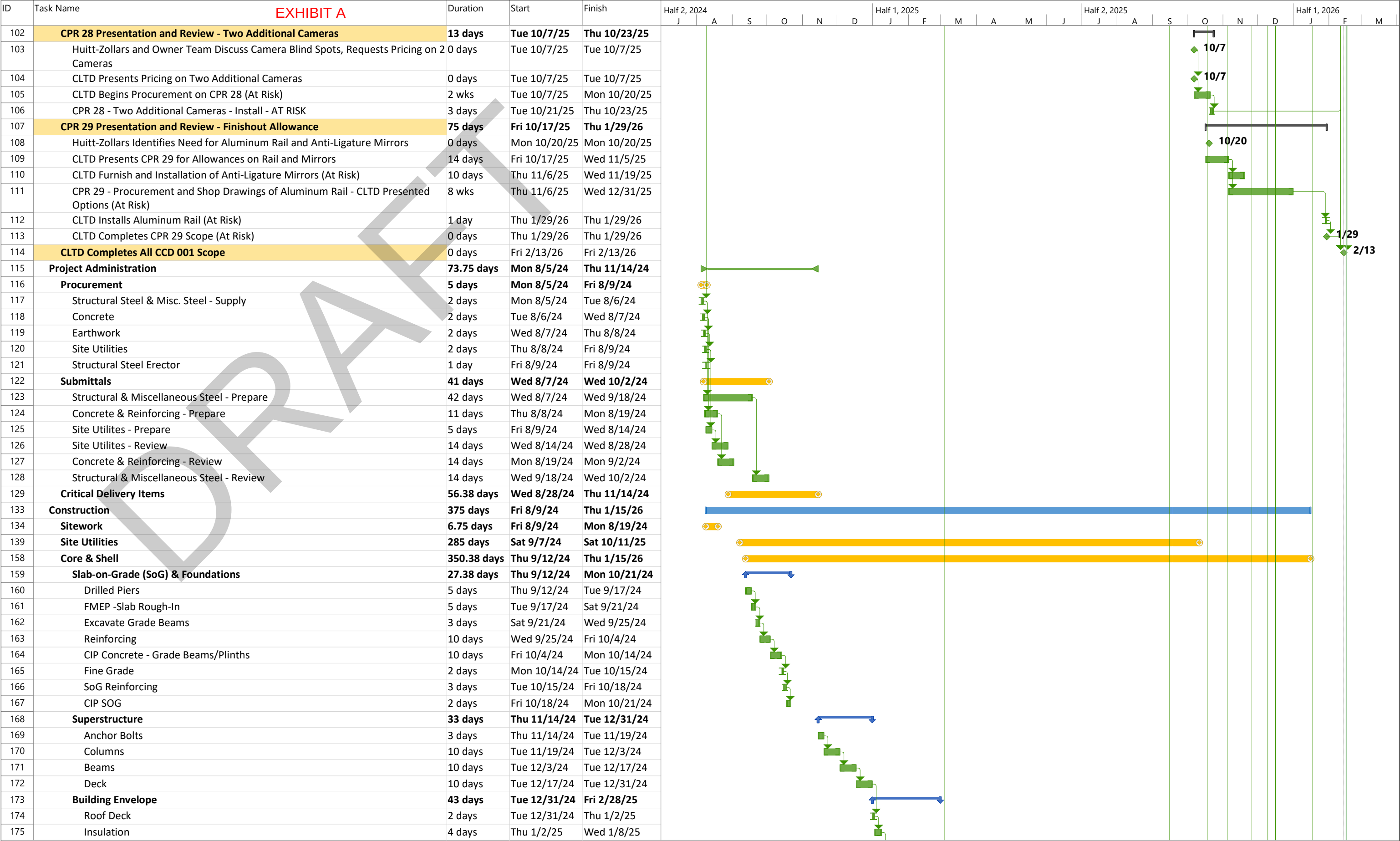
CPR #	Description of Change	Reason for Change	Responsible Party	Supporting Reference
CPR 15	PR-08: Concrete sidewalk rework; curtainwall/glass redesign; related HVAC/electrical updates.	Revision to Contract Documents for site coordination and definition of sidewalk demolition/new construction limits.	Owner – Design Coordination / Clarification	"CPR 15 – Detailed Cost Breakdown (CCD-001, PR-08 Changes)", and Original Submission by CLTD
CPR 16r1	PR-09: Add poured rubber courtyard surfacing; revise restroom specialties (dispensers, seats).	Added scope previously not in contract (materials not defined).	Owner - Finalized material and accessories selections	"CPR 16r1 – Detailed Cost Breakdown & Justification (CCD-001, PR-09 Changes)", and Original Submission by CLTD
CPR 18r1	Millwork shop-drawing revisions: e.g. add 1/2" edge radius on counters, slope certain millwork backs.	Submittal-driven refinements for safety & finish consistency.	Owner - Design coordination; submittal/shop drawing coordination	"CPR 18r1 – Detailed Cost Breakdown & Explanation", and Original Submission by CLTD
CPR 19	PR-11 & PR-12: Add exhaust fan and grille for IT/IDF Room (cooling); miscellaneous minor changes.	Unforeseen requirement – IT closet ventilation added per conditions discovered during commissioning	Owner - Field Coordination/ Operational Requirement	"CPR 19r1 – Cost Breakdown & Justification (PR-11 & PR-12)" and Original Submission by CLTD
CPR 21	PR-13: Provide complete signage package (interior/exterior) per Takeform signage quote.	Scope addition – Owner needed code-required and wayfinding signage in contract.	Owner - Owner requested scope addition	"CPR 21 – Signage Package Cost Breakdown & Justification (PR-13)" and Original Submission by CLTD
CPR 22r1	PR-14: Add concrete valley gutter, steel cover plate; install security fencing; change terrarium door handle.	Field coordination items – drainage and safety features added after site review.	Owner - Owner requested revisions/ Field Coordination	"CPR 22r1 - Cost Breakdown & Justifications (Misc. Exterior Items)" and Original Submission by CLTD
CPR 24	PR-16: HVAC and electrical modifications at vestibule, lobby, reception, terrarium.	Performance Validation – adjustments per HVAC Commissioning Agent performance review	Other - Design Coordination / Commissioning Agent & Performance Verification	"CPR 24 – Cost Breakdown & Explanation (PR-16 "HVAC Comments")" and Original Submission by CLTD
CPR 26	Add City impact fees & tap fees for utilities.	Unbudgeted permit costs – needed to obtain services.	Other (City requirement; Owner reimbursement)	"CPR 26 – Cost Breakdown & Justification (AHJ Required Impact Fees)" and Original Submission by CLTD
CPR 27	Spray foam insulation at front vestibule ceiling.	Envelope Coordination – added insulation to prevent condensation	Owner - Field Coordination / Envelope Performance Verification	"CPR 27 – Cost Breakdown & Justification (Spray Foam Insulation at Front Vestibule)" and Original Submission by CLTD
CPR 28	Install 2 extra exterior security cameras; relocate 1 camera under canopy.	Owner's security enhancement to cover blind spots.	Owner - Owner requested scope addition	"CPR 28 – Cost Breakdown (Additional Security Cameras)" and Original Submission by CLTD
CPR 29	Allowance for miscellaneous finish items (not-to-exceed \$7,500).	Project closeout contingency – covers any small pending changes.	Owner/Architect - Loading dock railing modification; Owner addition of security mirrors. NOTE: Need subconsultant backup for dollar amounts	"CPR 29 – Finish Item Allowance (Not-to-Exceed \$7,500)" and Original Submission by CLTD

GCMHWC
CCD-001
Construction Schedule with
CPR Impacts

GCMHWC - CCD-001 Complete Schedule - 2/16/2026







GCMHWC - CCD-001 Complete Schedule - 2/16/2026

ID	Task Name	Duration	Start	Finish	Half 2, 2024							Half 1, 2025			Half 2, 2025						Half 1, 2026			
					J	A	S	O	N	D	J	F	M	A	M	J	J	A	S	O	N	D	J	F
176	TPO	10 days	Wed 1/8/25	Wed 1/22/25																				
177	Metal Panels	5 days	Wed 1/22/25	Wed 1/29/25																				
178	Interior & Ext. Metal Studs	15 days	Wed 1/29/25	Wed 2/19/25																				
179	Sheathing	5 days	Wed 2/19/25	Wed 2/26/25																				
180	Windows/Openings	2 days	Wed 2/26/25	Fri 2/28/25																				
181	Interior Build Out & Finishes	229.25 days	Fri 2/28/25	Thu 1/15/26																				
182	Drywall	20 days	Fri 2/28/25	Fri 3/28/25																				
183	FMEP Rough-In	15 days	Fri 8/22/25	Thu 9/11/25																				
184	Tape & Float	10 days	Fri 9/12/25	Thu 9/25/25																				
185	Ceilings	13 days	Fri 9/26/25	Tue 10/14/25																				
186	Floors	10 days	Wed 10/15/25	Tue 10/28/25																				
187	Paint	10 days	Wed 10/22/25	Tue 11/4/25																				
188	Trim-Out	10 days	Wed 11/26/25	Tue 12/9/25																				
189	Impact on Inspections for CCD 001	5 wks	Wed 12/10/25	Tue 1/13/26																				
190	Final Cleaning	2 days	Wed 1/14/26	Thu 1/15/26																				

GCMHWC
CCD-001

Cost Justification and
Abbreviated Backup

CPR 15 – Detailed Cost Breakdown (CCD-001, PR-08 Changes)

Overview: CPR 15 implements **Permit Revision 08** (issued 1/31/2025) for the Gulf Coast GCMHWC project, consolidating several design changes into a single lump-sum change order of **\$120,048.13**. The scope includes adding a new exterior concrete sidewalk, modifying the curtainwall/storefront system (originally CPR 6r1) due to structural updates, and associated HVAC and electrical adjustments.

ITEM #	DESCRIPTION	QTY	UNIT	SUB	GC MTL	GC LABOR	GC EQUIP	SUBTOTAL
1	Division 03 - Mezcon	1	LS	23,000.00				\$23,000.00
2	Division 08 - Previous CPR 06r1, Now included in PR-08	1	LS	58,958.20				\$58,958.20
3	Division 23 - Cook Mechanical	1	LS	8,542.00				\$8,542.00
4	Division 26 - UB Electric	1	LS	12,807.00				\$12,807.00
SAFETY								\$0.00
PRINTING COST								\$0.00
LAYOUT								\$0.00
CLEAN UP								\$0.00
GENERAL CONDITIONS - SITE						\$0.00		\$0.00
SUPERVISION - SITE ONLY							\$0.00	\$0.00
COLUMN TOTALS				\$103,307.20	\$0.00	\$0.00	\$0.00	\$103,307.20
SUBCONTRACTORS TOTAL								\$103,307.20
GENERAL CONTRACTORS MATERIAL								\$0.00
GENERAL CONTRACTORS LABOR								\$0.00
GENERAL CONTRACTORS EQUIPMENT								\$0.00
SS/INS/FRINGES @ 45%								\$0.00
SUBTOTAL								\$103,307.20
GENERAL LIABILITY/UMBRELLA (.33%)								\$340.91
PERFORMANCE & PAYMENT BOND (.875%)								\$903.94
GENERAL CONTRACTORS OVERHEAD (5%)								\$5,165.36
GENERAL CONTRACTORS PROFIT (10%)								\$10,330.72
TOTAL								\$120,048.13

Isolated Schedule Impact	
Impact to Substantial Completion (Days)	195
Updated Substantial Completion	12/23/2025
Impact to Final Completion (Days)	209
Updated Final Completion	1/6/2026

CPR 15 - Huitt-Zollars Notes

Sidewalk Revision in CPR 15 (PR-08) – Explanation of Change:

The PR-08 plan set revises the site sidewalk scope adjacent to the new facility to reflect updated **design coordination and field interface conditions**. In earlier plan sets, the sidewalk segment connecting to the building was identified as an existing element. As design coordination progressed, PR-08 updated the civil plans to incorporate revised sidewalk limits, including demolition of the impacted existing segment and construction of new concrete sidewalk to achieve the intended site circulation and tie-in. In Plan Revision 08 (issued 1/31/2025), civil sheet C3.0 was updated to show the revised sidewalk layout as new construction, and the demolition plan (C2.0) was updated to identify the corresponding removal limits. The revision includes approximately 2,400 SF of new 4.5" concrete sidewalk with reinforcement, integrated with adjacent site and building elements. This new sidewalk replaces the two deteriorated panels that were previously to remain (these had been an alternate in the bid, but not in the base scope). This revision supports continuity of pedestrian access and coordination with surrounding site improvements consistent with the project's design intent and applicable requirements.

Curtainwall Revision in CPR 15r1 (PR-08, previously part of CPR 6r1) – Explanation of Change:

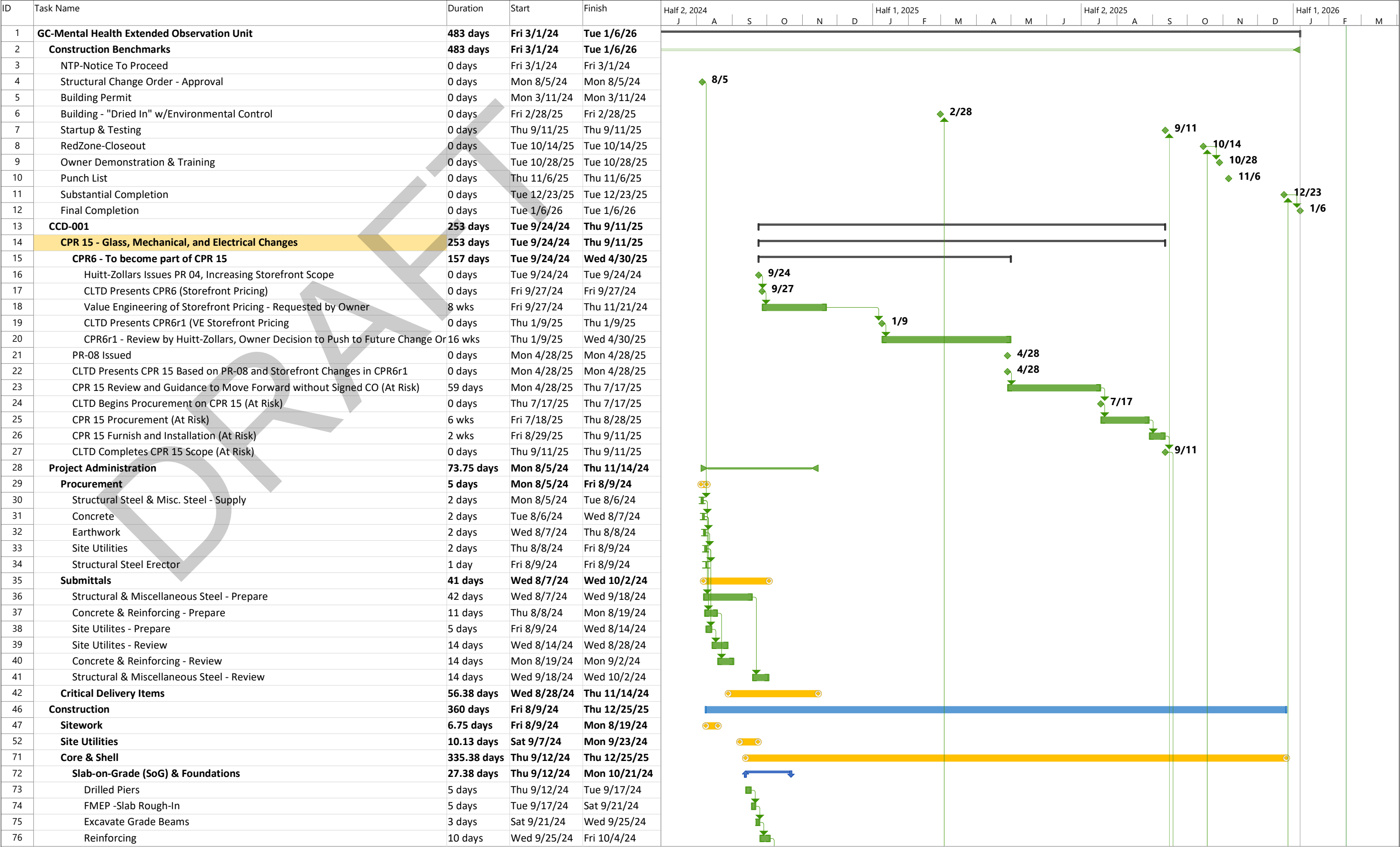
When building was changed from a renovation to a demo/rebuild, Owner chose to take advantage of the the opportunity to increase the height to allow for higher ceiling heights within the building. This height increase affected the exterior envelope, including the curtainwall and glazing. When pricing was originally recieved, the Owner requested the team provide VE alternates for the Curtainwall and Glazing (which also affected structural). Some of these items were captured in CPR6r1, this was originally part of that CPR but these changes were still being considered as part of that particular VE exercise. Once decided upon, these changes were included in PR-08.

EXHIBIT A

HVAC/Electrical Revisions in CPR 15r1 (PR-08) – Explanation of Change:

These were Owner requested additions to the project consisting of an additional exhaust fan to the IT space, a site lighting update, and additional breakers. Reference, HZ PR-08 Revision Narrative Document.

DRAFT



GCMHWC - Isolated CPR 15 Schedule - 2/16/2026

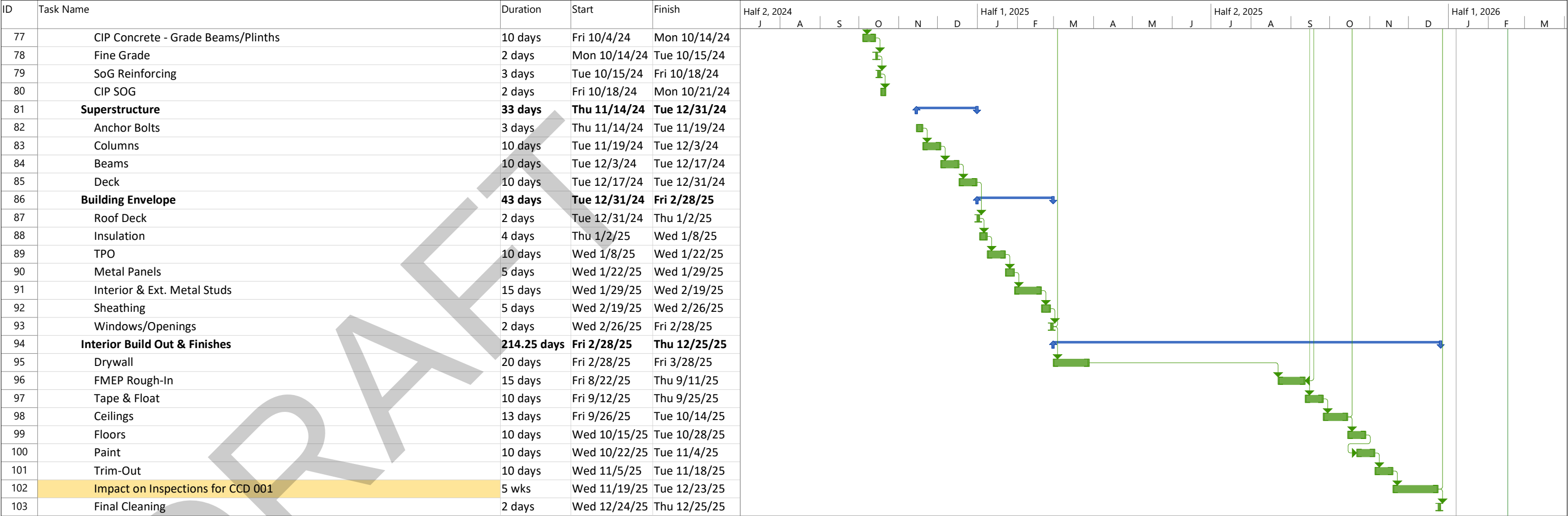


EXHIBIT A

CPR 16r1 – Detailed Cost Breakdown & Justification (CCD-001, PR-09 Changes)

Description of Change:

Incorporate changes for PR-09 into the project. This includes Misc.Specialties and Poured Rubber Surfaces previously not included in the scope.

Division 09 - Poured Rubber Surface - Spectraturf: Courtyard area previously called for approx. 350sf of exposed concrete, 390sf of RS-1, and 312sf of AT-1. RS-1 and AT-1 were not defined and thus not priced nor included in our quote. We have provided a quote to provide poured rubber surface flooring of approximately 1,056sf in line with PR-09.

Division 10 - Misc. Specialties - FastTrack Specialties: Toilet accessories were changed as seen on the cover sheet and throughout the updated drawings. In total, thirteen (13) LR Soap Dispensers were removed, twenty-four (24) Symmetry Soap Dispensers were added, eleven (11) Bobrick Paper Towel Dispensers were added, and Five (5) Metcraft Shower Seats were added.

ITEM #	DESCRIPTION	QTY	UNIT	SUB	GC MTL	GC LABOR	GC EQUIP	SUBTOTAL
1	Division 09 - Poured Rubber Surface - Spectraturf	1	LS	27,578.00				\$27,578.00
2	Division 10 - Misc Specialties - FT Specialties	1	LS	9,573.57				\$9,573.57
SAFETY								\$0.00
PRINTING COST								\$0.00
LAYOUT								\$0.00
CLEAN UP								\$0.00
GENERAL CONDITIONS - SITE						\$0.00		\$0.00
SUPERVISION - SITE ONLY							\$0.00	\$0.00
COLUMN TOTALS				\$37,151.57	\$0.00	\$0.00	\$0.00	\$37,151.57
SUBCONTRACTORS TOTAL								\$37,151.57
GENERAL CONTRACTORS MATERIAL								\$0.00
GENERAL CONTRACTORS LABOR								\$0.00
GENERAL CONTRACTORS EQUIPMENT								\$0.00
SS/INS/FRINGES @ 45%								\$0.00
SUBTOTAL								\$37,151.57
GENERAL LIABILITY/UMBRELLA (.33%)								\$122.60
PERFORMANCE & PAYMENT BOND (.875%)								\$325.08
GENERAL CONTRACTORS OVERHEAD (5%)								\$1,857.58
GENERAL CONTRACTORS PROFIT (10%)								\$3,715.16
TOTAL								\$43,171.98

Isolated Schedule Impact	
Impact to Substantial Completion (Days)	111
Updated Substantial Completion	9/30/2025
Impact to Final Completion (Days)	125
Updated Final Completion	10/14/2025

CPR 16r1 - Huitt-Zollars Notes

Scope of CPR 16r1 (Plan Revision 09):

This change incorporates PR-09 into the Contract Documents to capture **owner-directed scope additions and end-user driven fixture revisions**, including:

- Poured rubber courtyard surfacing** within the secure outdoor area (approximately 1,056 SF of resilient safety flooring)
- Miscellaneous restroom accessory revisions** throughout the building (including soap dispensers, paper towel dispensers, and shower seat modifications).

These items were not included in the original contract pricing because the the final basis-of-design finish selection for the courtyard area (placeholders “RS-1” and “AT-1” were indicated) had not been decided upon and because the accessory selections were subsequently refined based on Owner/operations input. PR-09, issued by Huitt-Zollars on 02/14/2025, documents these updates for incorporation into the project scope.

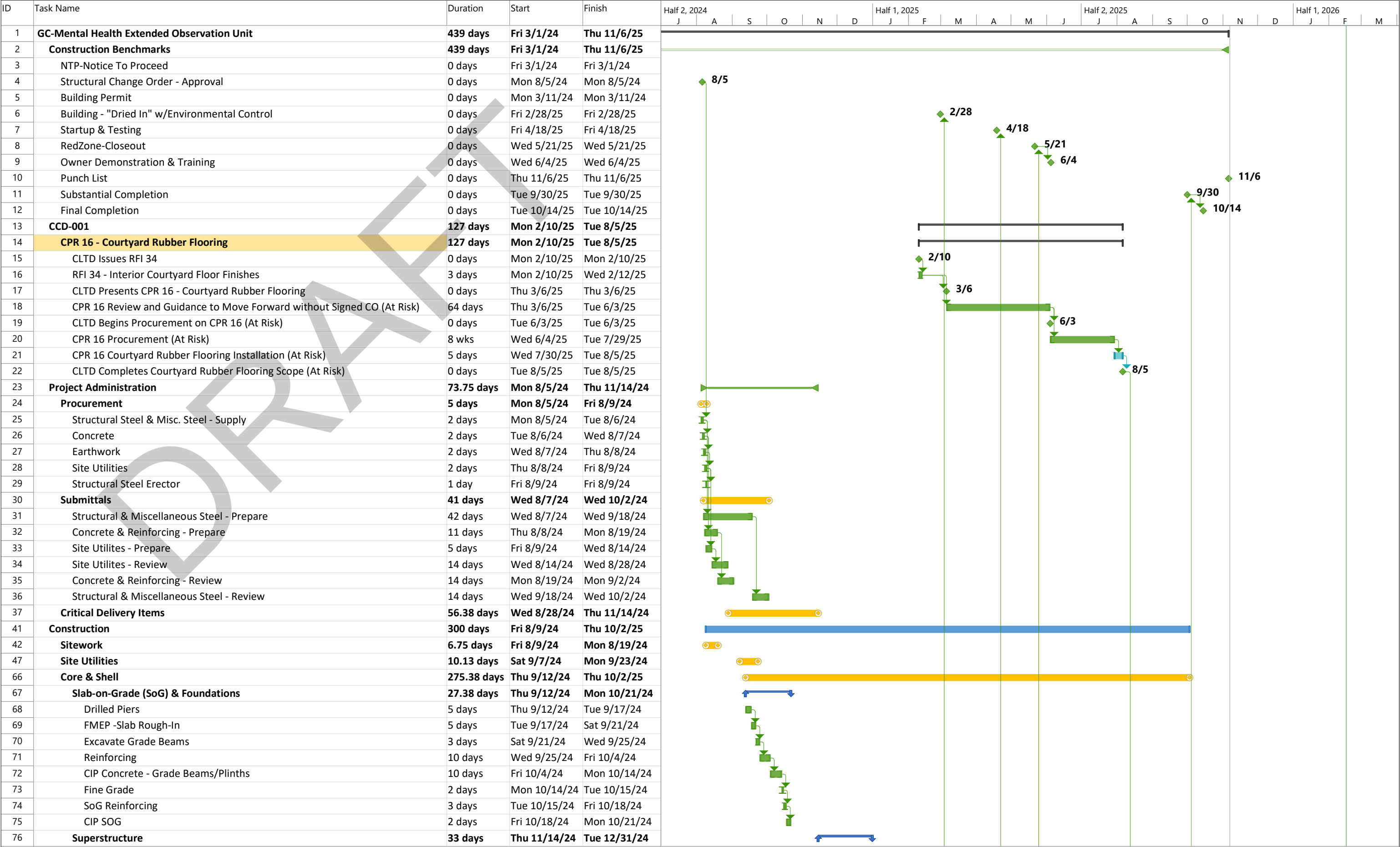
Justification & Responsibility:

EXHIBIT A

CPR 16r1 reflects **Owner-directed enhancements and operational preference revisions** implemented to support patient safety and facility use. The courtyard surfacing was selected to provide a cushioned, ligature-resistant play surface appropriate for the program requirements. Once the Owner confirmed the rubberized surfacing selection, the Contract Documents were updated accordingly in PR-09.

Similarly, restroom accessory revisions were coordinated based on end-user and facility preferences, including expanded locations for ligature-resistant fixture selections and convenience modifications (e.g., Symmetry soap dispenser system, additional dispensers, and folding shower seats). These changes were coordinated with the Owner's representative and incorporated to align the final design with operational needs.

DRAFT



GCMHWC - Isolated CPR 16 Schedule - 2/16/2026

ID	Task Name	Duration	Start	Finish	Half 2, 2024							Half 1, 2025					Half 2, 2025							Half 1, 2026		
					J	A	S	O	N	D		J	F	M	A	M	J	J	A	S	O	N	D	J	F	M
77	Anchor Bolts	3 days	Thu 11/14/24	Tue 11/19/24																						
78	Columns	10 days	Tue 11/19/24	Tue 12/3/24																						
79	Beams	10 days	Tue 12/3/24	Tue 12/17/24																						
80	Deck	10 days	Tue 12/17/24	Tue 12/31/24																						
81	Building Envelope	43 days	Tue 12/31/24	Fri 2/28/25																						
82	Roof Deck	2 days	Tue 12/31/24	Thu 1/2/25																						
83	Insulation	4 days	Thu 1/2/25	Wed 1/8/25																						
84	TPO	10 days	Wed 1/8/25	Wed 1/22/25																						
85	Metal Panels	5 days	Wed 1/22/25	Wed 1/29/25																						
86	Interior & Ext. Metal Studs	15 days	Wed 1/29/25	Wed 2/19/25																						
87	Sheathing	5 days	Wed 2/19/25	Wed 2/26/25																						
88	Windows/Openings	2 days	Wed 2/26/25	Fri 2/28/25																						
89	Interior Build Out & Finishes	154.25 days	Fri 2/28/25	Thu 10/2/25																						
90	Drywall	20 days	Fri 2/28/25	Fri 3/28/25																						
91	FMEP Rough-In	15 days	Fri 3/28/25	Fri 4/18/25																						
92	Tape & Float	10 days	Fri 4/18/25	Fri 5/2/25																						
93	Ceilings	13 days	Fri 5/2/25	Wed 5/21/25																						
94	Floors	10 days	Wed 7/23/25	Tue 8/5/25																						
95	Paint	10 days	Wed 7/30/25	Tue 8/12/25																						
96	Trim-Out	10 days	Wed 8/13/25	Tue 8/26/25																						
97	Impact on Inspections for CCD 001	5 wks	Wed 8/27/25	Tue 9/30/25																						
98	Final Cleaning	2 days	Wed 10/1/25	Thu 10/2/25																						

EXHIBIT A

CPR 18r1 – Detailed Cost Breakdown & Explanation

Description of Change:

Incorporate millwork redline changes per the approved submittals including the addition of a 1/2" radius on outside leading edges of the nurse and security stations, a 1/2" radius on leading edges of plastic laminate and solid surface countertops, and the addition of sloped backs on four (4) angled side walls at EOU room 148.

Division 06 - Millwork - Redline Changes per the approved submittals.

ITEM #	DESCRIPTION	QTY	UNIT	SUB	GC MTL	GC LABOR	GC EQUIP	SUBTOTAL
2	Division 06 - Millwork - Varmon Millwork	1	LS	7,950.00				\$7,950.00
SAFETY								\$0.00
PRINTING COST								\$0.00
LAYOUT								\$0.00
CLEAN UP								\$0.00
GENERAL CONDITIONS - SITE						\$0.00		\$0.00
SUPERVISION - SITE ONLY							\$0.00	\$0.00
COLUMN TOTALS				7,950.00	\$0.00	\$0.00	\$0.00	\$7,950.00
SUBCONTRACTORS TOTAL								\$7,950.00
GENERAL CONTRACTORS MATERIAL								\$0.00
GENERAL CONTRACTORS LABOR								\$0.00
GENERAL CONTRACTORS EQUIPMENT								\$0.00
SS/INS/FRINGES @ 45%								\$0.00
SUBTOTAL								\$7,950.00
GENERAL LIABILITY/UMBRELLA (.33%)								\$26.24
PERFORMANCE & PAYMENT BOND (.875%)								\$69.56
GENERAL CONTRACTORS OVERHEAD (5%)								\$397.50
GENERAL CONTRACTORS PROFIT (10%)								\$795.00
TOTAL								\$9,238.30

Isolated Schedule Impact	
Impact to Substantial Completion (Days)	97
Updated Substantial Completion	9/16/2025
Impact to Final Completion (Days)	111
Updated Final Completion	9/30/2025

CPR 18r1 - Huitt-Zollars Notes

CPR 18r1 – Scope (Millwork / Casework Submittal Revisions):

CPR 18r1 incorporates millwork (casework) refinements identified during **shop drawing/submittal review**,

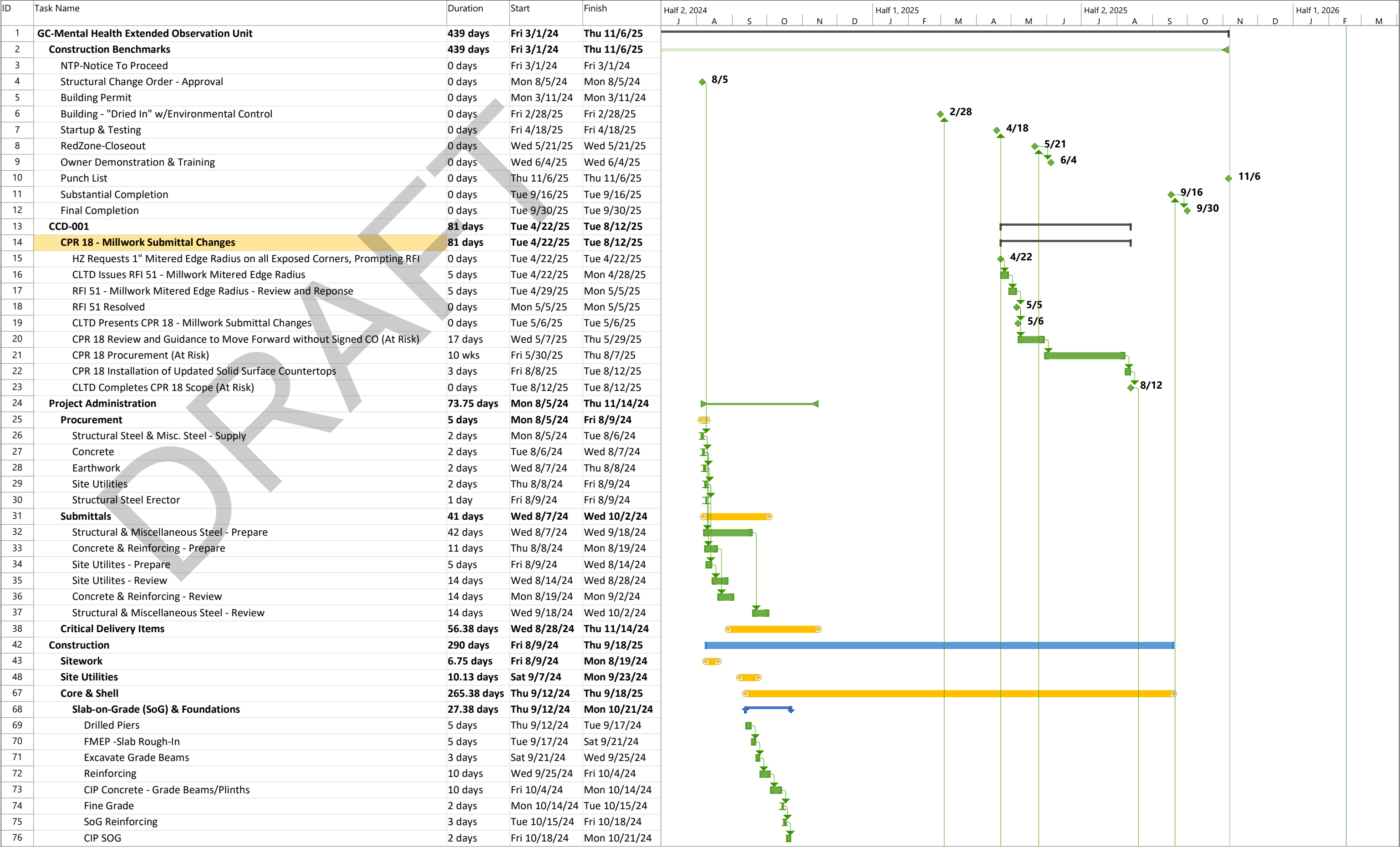
Addition of a ½" **radius** to exposed countertop edges at nurse stations and the security desk, and

Sloped backs on four angled millwork walls in **EOU Room 148**.

Justification & Responsibility:

This change reflects **submittal coordination and refinement of millwork detailing** based on fabrication input, specialty design architect (Human Experience) and Owner review during construction administration. The Contractor obtained pricing from the millwork subcontractor to implement the revised edge and wall-back configurations, and the updates were **approved by the Owner** for incorporation into the work. During the shop drawing review process, Human Experience indicated concern regarding the standard 1/8" ease on counters that could be a potential hazard for patients. Human Experience requested this be modified to a 1" ease, after discussions with the Owner's representative and CLTD it was decided the 1" ease would be too difficult and costly to achieve and a 1/2" ease was approved by Human Experience and Owner.

These refinements were documented through the PR/CCD process to maintain alignment between approved shop drawings and the Contract Documents and to support procurement and installation.



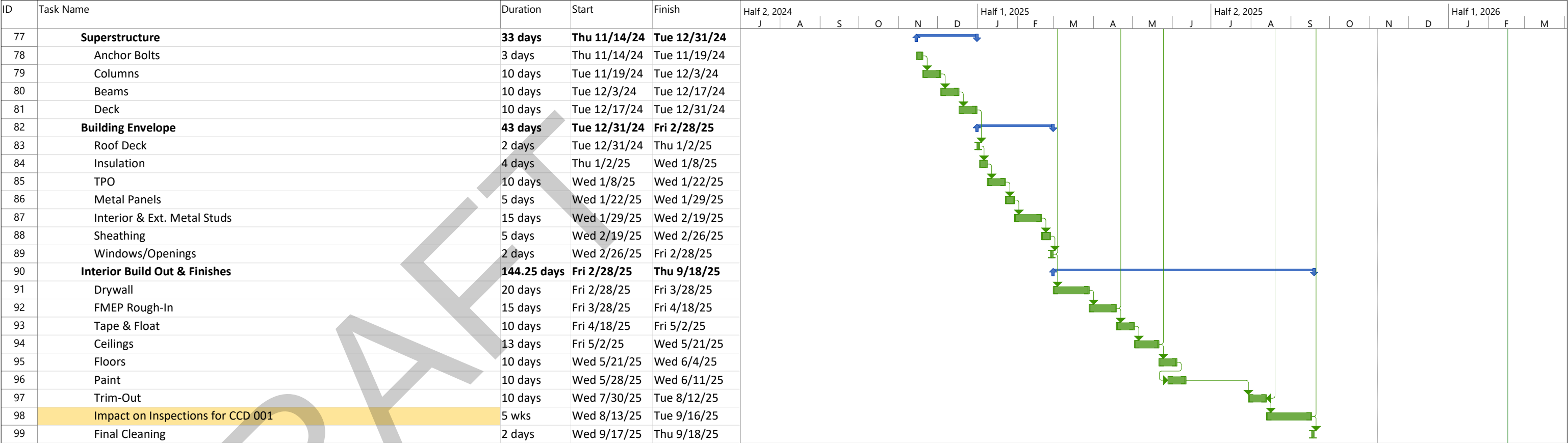


EXHIBIT A

CPR 19r1 – Cost Breakdown & Justification (PR-11 & PR-12)

Description of Change:

Incorporate PR11 and PR12 into the contract, excluding the Intrusion Detection scope of work. Specific scopes of work and changes are below:

PR-11 - Division 08 - Window Film - Furnish and install window film at four (4) locations of Window Elevation Number 1.

PR-11 - Division 12 - Window Shades - Furnish and install window shades at exterior window locations as shown on PR-11 documents by Huitt-Zollars.

PR-12 - No Cost of Change

ITEM #	DESCRIPTION	QTY	UNIT	SUB	GC MTL	GC LABOR	GC EQUIP	SUBTOTAL
1	Division 08 - Window Film - Ray Glass	1	LS	1,113.76				\$1,113.76
2	Division 12 - Window Shades - Custom Drapery Co.	1	LS	8,000.00				\$8,000.00
4	Division 12 - Window Shades - CREDIT 5 Shown	1	LS	-1,481.48				(\$1,481.48)
SAFETY								\$0.00
PRINTING COST								\$0.00
LAYOUT								\$0.00
CLEAN UP								\$0.00
GENERAL CONDITIONS - SITE						\$0.00		\$0.00
SUPERVISION - SITE ONLY							\$0.00	\$0.00
COLUMN TOTALS				\$7,632.28	\$0.00	\$0.00	\$0.00	\$7,632.28
SUBCONTRACTORS TOTAL								\$7,632.28
GENERAL CONTRACTORS MATERIAL								\$0.00
GENERAL CONTRACTORS LABOR								\$0.00
GENERAL CONTRACTORS EQUIPMENT								\$0.00
SS/INS/FRINGES @ 45%								\$0.00
SUBTOTAL								\$7,632.28
GENERAL LIABILITY/UMBRELLA (.33%)								\$25.19
PERFORMANCE & PAYMENT BOND (.875%)								\$66.78
GENERAL CONTRACTORS OVERHEAD (5%)								\$381.61
GENERAL CONTRACTORS PROFIT (10%)								\$763.23
TOTAL								\$8,869.09

Isolated Schedule Impact	
Impact to Substantial Completion (Days)	107
Updated Substantial Completion	9/26/2025
Impact to Final Completion (Days)	121
Updated Final Completion	10/10/2025

CPR 19r1 - Huitt-Zollars Notes

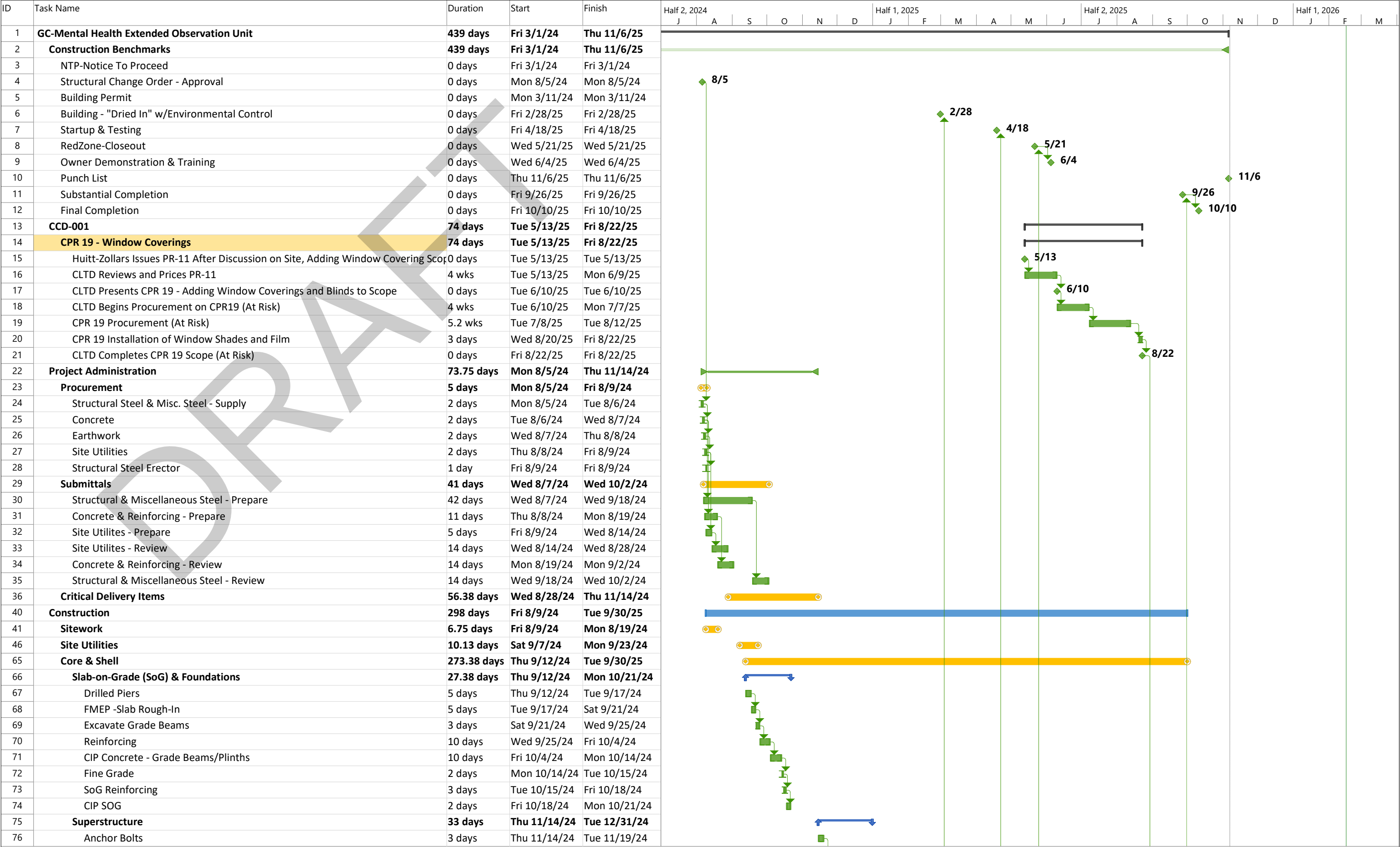
Scope of CPR 19r1 (PR-11 / PR-12):

CPR 19r1 incorporates PR-11 and PR-12 design revisions into the contract, with no cost impact associated with PR-12 and selective implementation of PR-11 scope.

Justification & Responsibility:

EXHIBIT A

CPR 19r1 incorporates PR-11 and PR-12 design revisions into the contract, excluding the intrusion detection scope. PR-11 reflects **Owner-requested revisions to address privacy and operational needs**, including the addition of window shades at exterior windows and the installation of window film at four (4) locations. **Privacy concerns were raised during the 5/15/2025 OAC meeting regarding visibility into the EOU Team Room**, where window shades were not feasible, prompting evaluation of window film as an alternative. **At the 6/3/2025 OAC meeting, the Owner requested pricing for window film options and expressed a preference for broader application to exterior windows**, resulting in the selected PR-11 scope included herein. PR-12 consists solely of coordination and value-engineering adjustments, including roof hatch relocation, reception desk relocation, and door position removal, and results in no cost of change. These revisions were Owner-directed or coordination-driven and were incorporated by the Architect to align the construction documents with operational requirements, privacy considerations, and constructability, with costs limited to the approved PR-11 window film and shade scope.



GCMHWC - Isolated CPR 19 Schedule - 2/16/2026

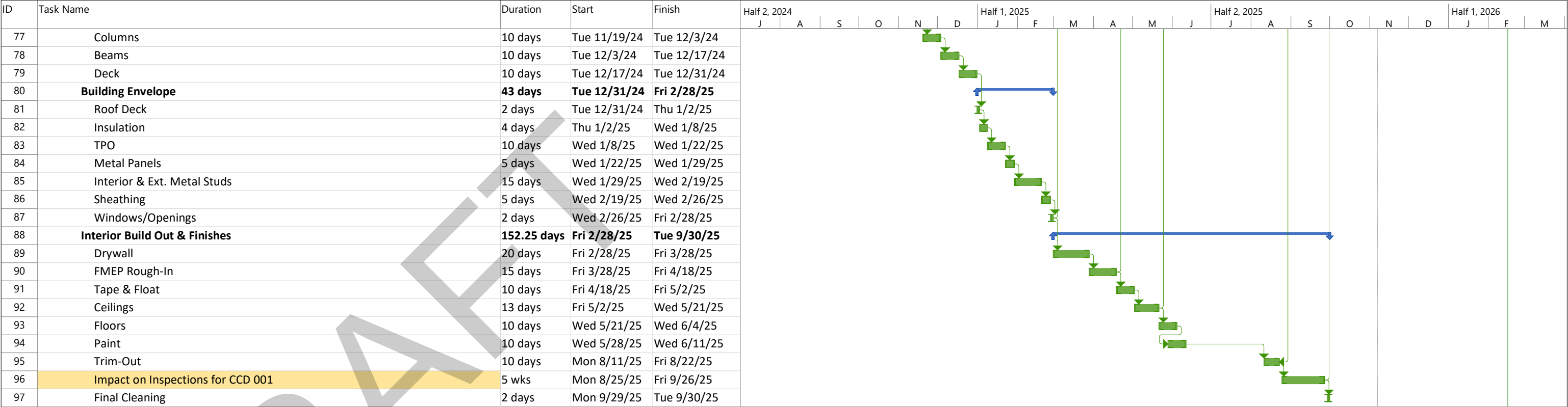


EXHIBIT A

CPR 21 – Signage Package Cost Breakdown & Justification (PR-13)

Description of Change:

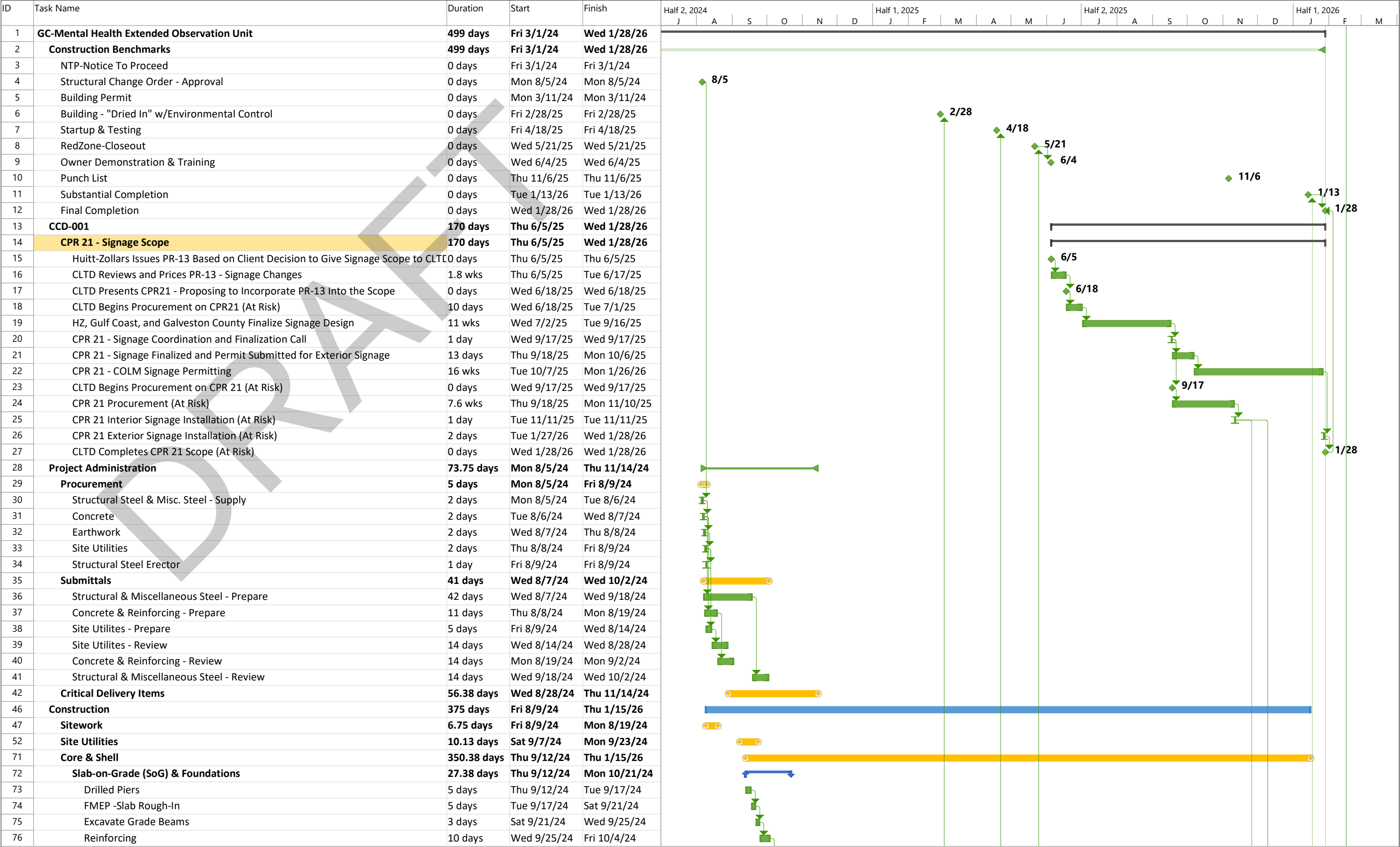
PR-13 - Install Signage as noted on PR-13, in conjunction with the Takeform Quotes on the attached backup.

ITEM #	DESCRIPTION	QTY	UNIT	SUB	GC MTL	GC LABOR	GC EQUIP	SUBTOTAL
1	Exterior Signage - Takeform	1	LS	34,875.19				\$34,875.19
2	Interior Signage - Takeform	1	LS	19,662.95				\$19,662.95
SAFETY								\$0.00
PRINTING COST								\$0.00
LAYOUT								\$0.00
CLEAN UP								\$0.00
GENERAL CONDITIONS - SITE						\$0.00		\$0.00
SUPERVISION - SITE ONLY							\$0.00	\$0.00
COLUMN TOTALS				\$54,538.14	\$0.00	\$0.00	\$0.00	\$54,538.14
SUBCONTRACTORS TOTAL								\$54,538.14
GENERAL CONTRACTORS MATERIAL								\$0.00
GENERAL CONTRACTORS LABOR								\$0.00
GENERAL CONTRACTORS EQUIPMENT								\$0.00
SS/INS/FRINGES @ 45%								\$0.00
SUBTOTAL								\$54,538.14
GENERAL LIABILITY/UMBRELLA (.33%)								\$179.98
PERFORMANCE & PAYMENT BOND (.875%)								\$477.21
GENERAL CONTRACTORS OVERHEAD (5%)								\$2,726.91
GENERAL CONTRACTORS PROFIT (10%)								\$5,453.81
TOTAL								\$63,376.05

Isolated Schedule Impact	
Impact to Substantial Completion (Days)	216
Updated Substantial Completion	1/13/2026
Impact to Final Completion (Days)	231
Updated Final Completion	1/28/2026

CPR 21 - Huitt-Zollars Notes

Scope of CPR 21: This change incorporates the **complete signage package** for the Gulf Coast GCMHWC facility, as detailed in Plan Revision 13 and the **Takeform** signage vendor proposal. It covers additional **interior wayfinding and room identification signs** and added **exterior building signage**. Originally, signage was not in the general contractor's scope – the Owner with GCC later directed it be added to ensure a consistent solution across the facility. HZ provided drawings to coordinate locations for new exterior signage and facilitated coordination with the Owner for room identification names with no additional compensation.



GCMHWC - Isolated CPR 21 Schedule - 2/16/2026

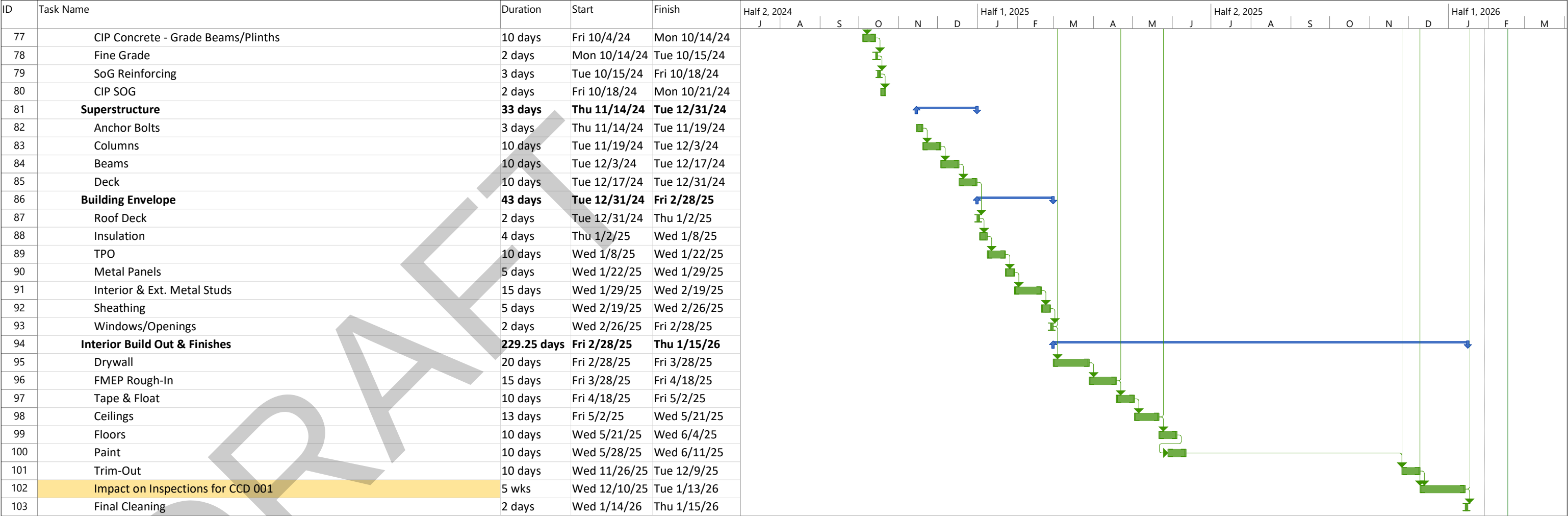


EXHIBIT A

CPR 22r1 - Cost Breakdown & Justifications (Misc. Exterior Items)

Description of Change:

PR-14 - Concrete Valley Gutter, Steel Plate, Fencing, and Door Handle Replacement at Terrarium

ITEM #	DESCRIPTION	QTY	UNIT	SUB	GC MTL	GC LABOR	GC EQUIP	SUBTOTAL
1	Division 08 - Door Handle Remove & Replace - Ray Glass	1	LS	890.88				\$890.88
2	Division 03 - Concrete - Encore Concrete	1	LS	1,960.00				\$1,960.00
3	Division 05 - Steel - MSD Building Co	1	LS	1,297.00				\$1,297.00
4	Division 32 - Fencing - Backwater	1	LS	18,460.00				\$18,460.00
4	Division 32 - Fencing Credit - CLTD give back	-71	LF	30.00				(\$2,130.00)
SAFETY								\$0.00
PRINTING COST								\$0.00
LAYOUT					\$150.00			\$150.00
CLEAN UP					\$1,250.00			\$1,250.00
GENERAL CONDITIONS - SITE						\$0.00		\$0.00
SUPERVISION - SITE ONLY							\$0.00	\$0.00
COLUMN TOTALS					\$22,637.88	\$1,400.00	\$0.00	\$21,877.88
SUBCONTRACTORS TOTAL								\$21,877.88
GENERAL CONTRACTORS MATERIAL								\$1,400.00
GENERAL CONTRACTORS LABOR								\$0.00
GENERAL CONTRACTORS EQUIPMENT								\$0.00
SS/INS/FRINGES @ 45%								\$630.00
SUBTOTAL								\$23,907.88
GENERAL LIABILITY/UMBRELLA (.33%)								\$78.90
PERFORMANCE & PAYMENT BOND (.875%)								\$209.19
GENERAL CONTRACTORS OVERHEAD (5%)								\$1,195.39
GENERAL CONTRACTORS PROFIT (10%)								\$2,390.79
TOTAL								\$27,782.15

Isolated Schedule Impact	
Impact to Substantial Completion (Days)	49
Updated Substantial Completion	7/30/2025
Impact to Final Completion (Days)	232
Updated Final Completion	1/29/2026

CPR 22r1 - Huitt-Zollars Notes

Scope of CPR 22r1 (Plan Revision 14):

CPR 22 incorporates revisions documented in **Plan Revision 14 (PR-14)**, including:

Construction of a **concrete valley gutter**,

Installation of a **steel cover plate** to address a trench/utility interface condition,

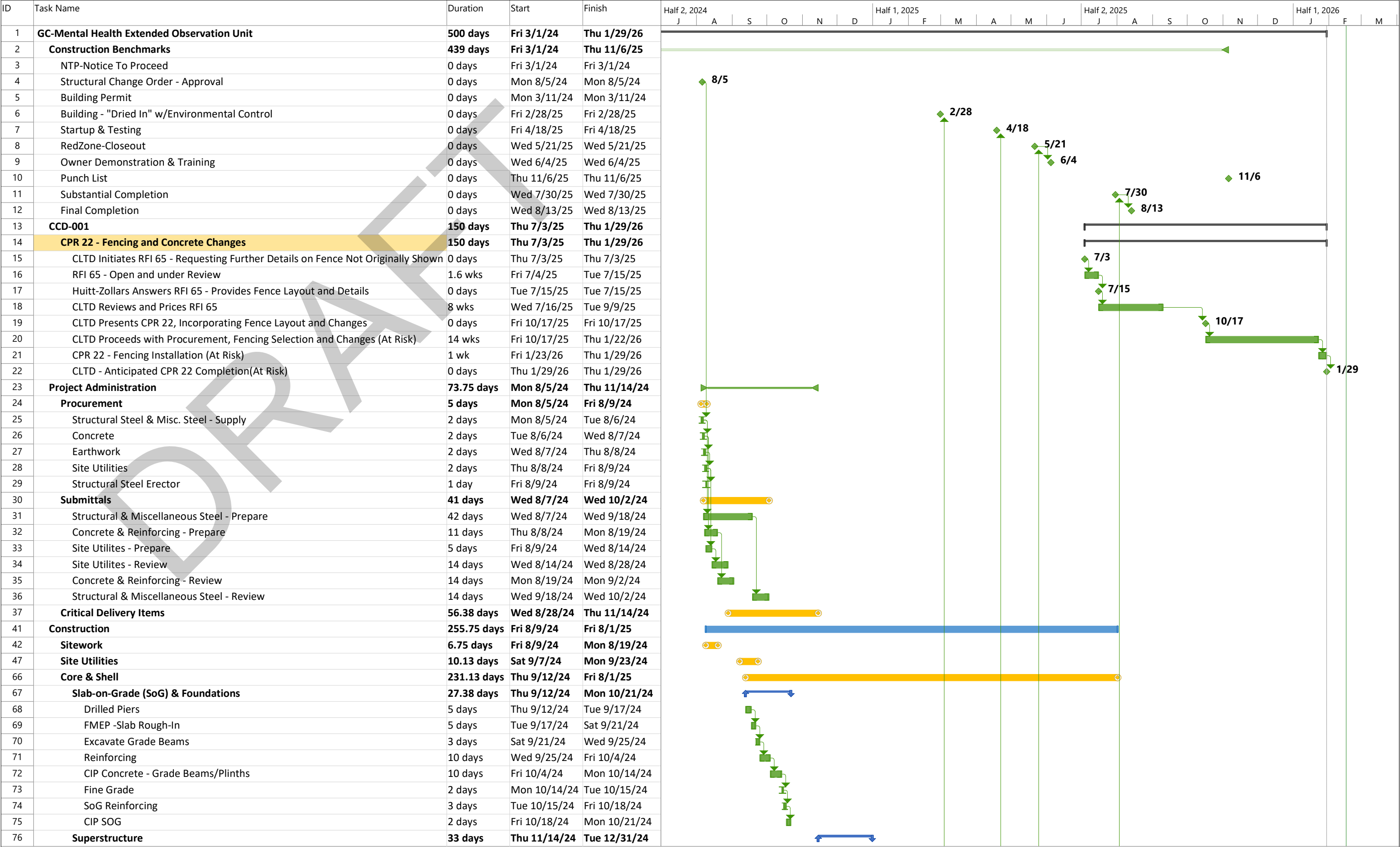
Clarification of the **security/decorative chain-link fence segment** (including gate hardware) to complete the secure perimeter, and

Replacement of a **Terrarium door handle** with a **ligature-resistant model**.

Justification & Responsibility:

CPR 22 reflects **field coordination, operational safety revisions, and Owner decisions** confirmed during construction. The concrete valley gutter was added to address site functionality. The steel cover plate and ligature-resistant door hardware were incorporated as minor but necessary coordination items to support constructability and patient safety features. The fencing credit and fee are a result of detailed clarifications on the Owner's preference for the a secure perimeter fence located outside the CRU area. The bid documents called for a "Low Wall and Planter" in this location. On July 10, 2025 the Owner's Representative discussed aesthetic and operational preferences with the Owner that had not been identified previously. During subsequent meetings and email discussion the final fence requirements were decided upon. The Owner, GCC, HZ and CLTD were part of all discussion with CLTD providing guidance on potential additional costs before the final decision was made. The credit applied represents the assumptions made at bid.

These revisions were documented through **PR-14** and incorporated into the contract as part of **CCD-001**, allowing the Contractor to price and implement the updated scope.



GCMHWC - Isolated CPR 22 Schedule - 2/16/2026

ID	Task Name	Duration	Start	Finish	Half 2, 2024							Half 1, 2025							Half 2, 2025							Half 1, 2026		
					J	A	S	O	N	D		J	F	M	A	M	J	J	A	S	O	N	D	J	F	M		
77	Anchor Bolts	3 days	Thu 11/14/24	Tue 11/19/24																								
78	Columns	10 days	Tue 11/19/24	Tue 12/3/24																								
79	Beams	10 days	Tue 12/3/24	Tue 12/17/24																								
80	Deck	10 days	Tue 12/17/24	Tue 12/31/24																								
81	Building Envelope	43 days	Tue 12/31/24	Fri 2/28/25																								
82	Roof Deck	2 days	Tue 12/31/24	Thu 1/2/25																								
83	Insulation	4 days	Thu 1/2/25	Wed 1/8/25																								
84	TPO	10 days	Wed 1/8/25	Wed 1/22/25																								
85	Metal Panels	5 days	Wed 1/22/25	Wed 1/29/25																								
86	Interior & Ext. Metal Studs	15 days	Wed 1/29/25	Wed 2/19/25																								
87	Sheathing	5 days	Wed 2/19/25	Wed 2/26/25																								
88	Windows/Openings	2 days	Wed 2/26/25	Fri 2/28/25																								
89	Interior Build Out & Finishes	110 days	Fri 2/28/25	Fri 8/1/25																								
90	Drywall	20 days	Fri 2/28/25	Fri 3/28/25																								
91	FMEP Rough-In	15 days	Fri 3/28/25	Fri 4/18/25																								
92	Tape & Float	10 days	Fri 4/18/25	Fri 5/2/25																								
93	Ceilings	13 days	Fri 5/2/25	Wed 5/21/25																								
94	Floors	10 days	Wed 5/21/25	Wed 6/4/25																								
95	Paint	10 days	Wed 5/28/25	Wed 6/11/25																								
96	Trim-Out	10 days	Wed 6/11/25	Wed 6/25/25																								
97	Impact on Inspections for CCD 001	5 wks	Wed 6/25/25	Wed 7/30/25																								
98	Final Cleaning	2 days	Wed 7/30/25	Fri 8/1/25																								

EXHIBIT A

CPR 24 – Cost Breakdown & Explanation (PR-16 “HVAC Comments”)

Description of Change:

PR-16 - Modifications to vestibule, reception, lobby, and terrarium as outlined on proposals attached.

ITEM #	DESCRIPTION	QTY	UNIT	SUB	GC MTL	GC LABOR	GC EQUIP	SUBTOTAL
1	Division 23 - HVAC	1	LS	12,221.00				\$12,221.00
2	Division 26 - Electrical	1	LS	2,092.00				\$2,092.00
SAFETY								\$0.00
PRINTING COST								\$0.00
LAYOUT								\$0.00
CLEAN UP - PATCHING AS REQUIRED, REMOVAL OF CEILINGS, REPAINTING, ETC.				\$5,000.00				\$5,000.00
GENERAL CONDITIONS - TRASH/HAUL-OFF					\$2,000.00	\$0.00		\$2,000.00
SUPERVISION - SITE ONLY							\$0.00	\$0.00
COLUMN TOTALS				\$19,313.00	\$2,000.00	\$0.00	\$0.00	\$21,313.00
SUBCONTRACTORS TOTAL								\$14,313.00
GENERAL CONTRACTORS MATERIAL								\$2,000.00
GENERAL CONTRACTORS LABOR								\$0.00
GENERAL CONTRACTORS EQUIPMENT								\$0.00
SS/INS/FRINGES @ 45%								\$900.00
SUBTOTAL								\$17,213.00
GENERAL LIABILITY/UMBRELLA (.33%)								\$56.80
PERFORMANCE & PAYMENT BOND (.875%)								\$150.61
GENERAL CONTRACTORS OVERHEAD (5%)								\$860.65
GENERAL CONTRACTORS PROFIT (10%)								\$1,721.30
TOTAL								\$20,002.37

Isolated Schedule Impact	
Impact to Substantial Completion (Days)	125
Updated Substantial Completion	10/14/2025
Impact to Final Completion (Days)	247
Updated Final Completion	2/13/2026

CPR 24 - Huitt-Zollars Notes

Scope of CPR 24 (Plan Revision 16):

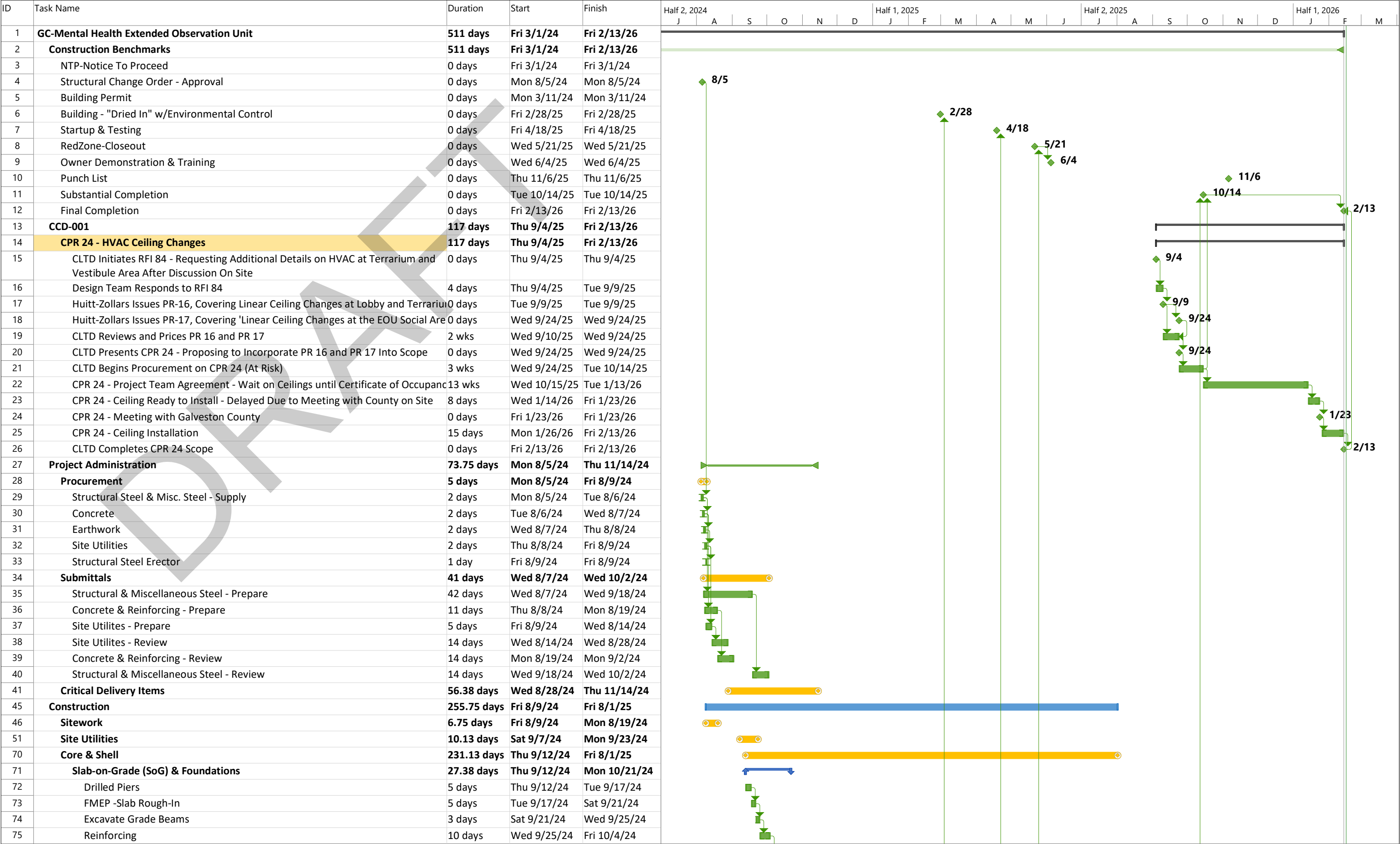
CPR 24 incorporates revisions documented in **Plan Revision 16 (PR-16)** to address **HVAC and associated electrical adjustments** in the main entry areas, including the **front vestibule, reception lobby, and terrarium**. The work includes modifications to HVAC distribution and control (such as **diffusers, ductwork adjustments, and/or control refinements**) and the related electrical connections required to support system operation.

These revisions support proper air balance, temperature regulation, and operational performance within the entry sequence and adjacent feature space.

Justification & Responsibility:

CPR 24 reflects **field coordination and start-up/commissioning-driven refinements** identified during system testing and operational verification. PR-16 documents the adjustments required to achieve intended comfort conditions at the vestibule/lobby interface and to support appropriate environmental control within the terrarium space (including mitigation of draft/pressure impacts and moisture/condensation potential). It also clarifies/confirms the design intent

The changes were incorporated through **PR-16** and included in **CCD-001** to align the Contract Documents with verified mechanical/electrical performance needs and allow the Contractor to complete the work in accordance with project requirements.



GCMHWC - Isolated CPR 24 Schedule - 2/16/2026

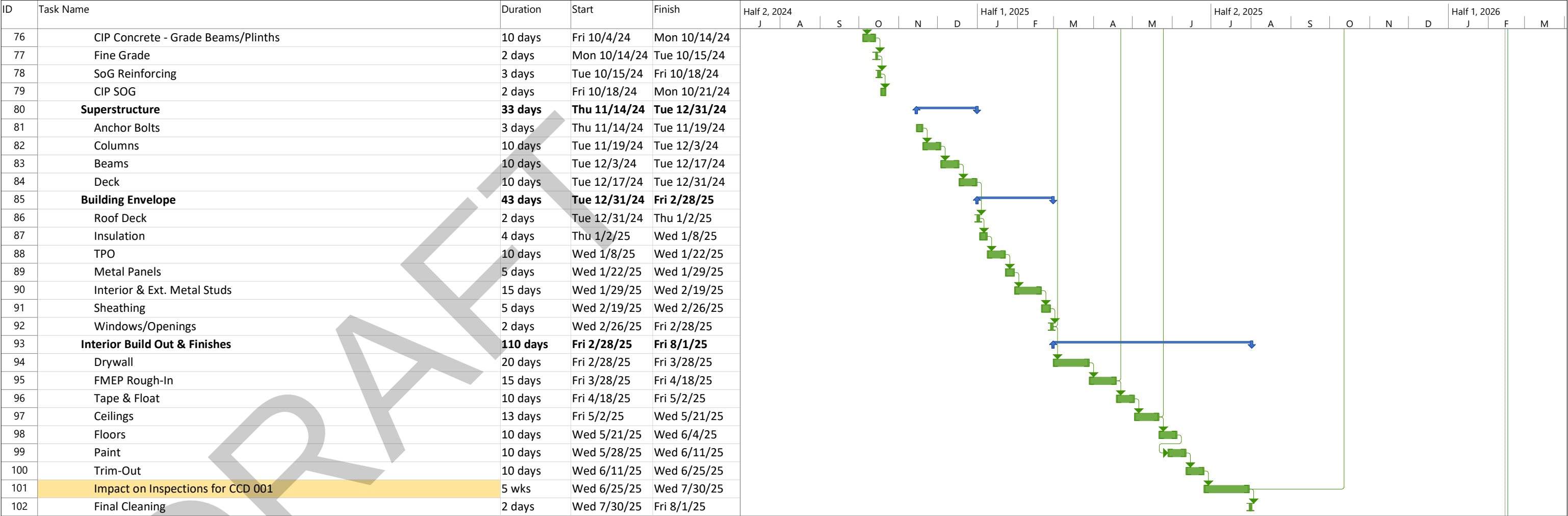


EXHIBIT A

CPR 26 – AHJ Required Impact Fees

Description of Change:

Project Impact Fees as outlined on the attached backup

ITEM #	DESCRIPTION	QTY	UNIT	SUB	GC MTL	GC LABOR	GC EQUIP	SUBTOTAL
1	Commercial Civil/Groundwork Permit	1	LS	4,684.80				\$4,684.80
2	Commercial Impact Fees	1	LS	72,391.54				\$72,391.54
3	Meter Fees - Aqua-Metric	1	LS	8,584.84				\$8,584.84
SAFETY								\$0.00
PRINTING COST								\$0.00
LAYOUT								\$0.00
CLEAN UP								\$0.00
GENERAL CONDITIONS - TRIPS (2 @ \$150)						\$300.00		\$300.00
SUPERVISION - SITE ONLY							\$0.00	\$0.00
COLUMN TOTALS				\$85,661.18	\$0.00	\$300.00	\$0.00	\$85,961.18
SUBCONTRACTORS TOTAL								\$85,661.18
GENERAL CONTRACTORS MATERIAL								\$0.00
GENERAL CONTRACTORS LABOR								\$300.00
GENERAL CONTRACTORS EQUIPMENT								\$0.00
SS/INS/FRINGES @ 45%								\$135.00
SUBTOTAL								\$86,096.18
GENERAL LIABILITY/UMBRELLA (.33%)								\$284.12
PERFORMANCE & PAYMENT BOND (.875%)								\$753.34
GENERAL CONTRACTORS OVERHEAD (5%)								\$4,304.81
GENERAL CONTRACTORS PROFIT (10%)								\$8,609.62
TOTAL								\$100,048.07

Background Context

Throughout the course of the project HZ and CLTD had difficulty receiving clear, timely, and consistent information on various requirements from the City of LaMarque. Below is a partial timeline example of the delays and lack of consistent procedures and information HZ received from La Marque, this is representative of the ongoing pattern both HZ and CLTD experienced which led to CLTD paying for these unexpected fees.

See below for the timeline of events related to the various plan reviews for the Galveston County Mental Health and Wellness Center.

1/24/24 – Construction drawings submitted to City of La Marque

1/25/24 – request made from city to submit drainage plans and to fill out civil plan review application.

2/2/24 – HZ asks permitting if entire set is needed or just civil.

2/5/24 – Permitting responds just civil.

2/27/24 – HZ inquires on status of civil permit from permitting office. HZ notified that plans are ready for review and is given an invoice.

2/28/24 – HZ pays invoice. Receives comments. Comments are distributed to Civil team for review and implementation.

2/29/24 – HZ was asked to resend building plans for review. HZ resubmit plans/

2/29/24 - The Asbestos Abatement Permit which was held by RNDI was extended the maximum amount of time to allow CLTD to start asbestos abatement which was needed for the roof and parapet. CLTD hired RNDI to complete the asbestos abatement at the roof which was completed by March 15, 2024. CLTD was onsite the week prior to NTP setting up and were informed on Feb. 29, 2024 that they could pick up a copy of the RNDI asbestos abatement permit and post on their trailer.

3/1/24 – HZ given building permit application to fill out. Form requires information from county

EXHIBIT A

and contractor to complete.

2/29/24 - NTP direction given to CLTD 2/29/24 to start 3/1/24

3/1/24 - CLTD received 8 month Demo Permit (RNDI) only between 3/1 and 3/4/24 to expire 8/1/24.

3/11/24 – HZ emails Jose Escobedo to finish application.

3/13/24 HZ continues to gather required info. E-mails Mark Garcia for more information.

3/19/24 – Permitting asks for application to be resubmitted with itemized award letter and acknowledgements signed.

3/21/24 – HZ emails permitting with Kathleen copied to state that all documents have been submitted.

3/21/24 – Permitting again requests itemized award letter and additionally asks for final contract with GC.

3/22/24 – HZ receives the information requested and submits.

3/27/24 – HZ sent building plan review invoice.

4/4/24 – HZ inquires on building plan review status. (invoice had been paid previously by county). Permitting acknowledged that plans were sent on the 2nd after payment was received.

4/8/24 – HZ received fire marshal comment letter. Comment indicated that 2018 IFC was not listed (note, 2018 IFC is not in the City of La Marque construction codes but rather in a separate section pertaining to fire.)

4/10/24 – HZ resubmits corrected sheet for fire marshal comments (this was the process for civil reviews)

4/16/24 – HZ receives building permit comments.

4/18/24 – HZ responds to building permit comments.

4/29/24 – HZ receives building permit comments. These were not included on the first round of review. HZ sends back civil comments.

4/30/24 – Permitting sends civil comments to reviewer.

5/1/24 – HZ responds to building permit comments.

5/4/24 Building Permit approved. HZ notified on 5/29/24

5/6/24 – HZ receives different fire marshal comments. Comment was to send entire set. This came a month after resubmittal. HZ resubmits the same day.

5/7/24 – HZ receives comments directly from ACIO for civil review. These are different comments than the first review.

5/13/24 - Following coordination with the Owner and review authorities, the Owner agreed that demolition of the existing structure and slab and construction of a new building was required. The Owner gave direction to proceed with scope changes at the **May 13, 2024** Commissioner's Court Meeting. Thus, CLTD proposed Change Order 1 was fully executed on August 5, 2024, to change the methodology of the project from a renovation of the existing building to a ground up project. The time extension associated with this the change order is was 208 days beyond the original Substantial Completion Date of December 15, 2024.

5/17/24 – Dally reaches out to ACIO to get clarity on comments before resubmittal.

5/22/24 – HZ gets fire marshal comments (round 3) these are again new comments.

6/3/24 – Fire marshal and Civil comments resubmitted.

6/4/24 – HZ pays plan recheck fee.

6/13/24 – HZ informed by the City of La Marque that due to the demolition of the existing structure and slab, that the city is requesting a new plan review. HZ was previously informed by Galveston County that a discussion occurred between the County (represented by Mark Garcia and Garret Foskit) and the City of La Marque Permitting office (represented by Kathleen VanStavern, Dinh Ho, and Brandon Hazelgrove) in which the County was informed that the demolition and rebuilding of the current design could be performed as an addendum to the permitting process and would not hamper the ongoing permitting process. This is contradictory to the information presented to HZ at the City permitting office. HZ and Dally received 3rd round of comments from civil reviewer. These were new comments not related to the previous ones.

8/5/24 - CLTD proposed Change Order 1 was fully executed on 8/5/24, to change the methodology of the project from a renovation of the existing building to a ground up project.

8/6/24 - Building Permit and Civil based on the revised/ground-up design received by CLTD

EXHIBIT A

2/29/24 - The permit required three approvals before it was approved and issued to contractor; **Building, Civil, and Fire Marshal**. Even though the Building Review was finalized and approved by May 2024, a permit could not be issued until Civil and the Fire Marshal gave their approvals. The all approvals were received by August 6, 2024. Note that **Hurricane Beryl**, a CAT 4 hurricane, made landfall July 8, 2024. The storm caused significant damage, including power outages and flooding across the region. Efforts to clean up Galveston and surrounding areas caused delays in getting the approved permit.

- Demolition of old building was complete by June 14, 2024.
- Select fill was completed by August 8, 2024.
- Piers were drilled and poured, and grade beams were in the process of being formed by October 4, 2024.
- Structural steel was installed by Feb. 13, 2025.

8/10/25 - CLTD reaches out to city to bring meter to site. City responds and requests impact fees to be paid.

8/13/2025 - CLTD Reaches out to Turner & Townsend for update on impact fees. Coordination and impact fee requirement identification begins

9/11/25 - Impact & Tap fees assessed by City of LaMarque and paid for by CLTD to avoid further project delays.

9/17/25 - CLTD receives meters from City of LaMarque and begins work on site related to tapping, testing, chlorinating, and inspecting work downstream of taps and meters. On domestic and fire water.

Ernest Crawford

From: Marshall, Allison <amarshall@Huitt-Zollars.com>
Sent: Tuesday, March 3, 2026 10:35 AM
To: Ernest Crawford
Subject: Re: Original Permitting

"Don't get caught out" - This email has come from an external source. Do not click on any links or open any attachments unless you are expecting them.

Ernest-

Yes, here is clarification regarding the impact fee issue and the timing implications associated with it, with the intent that this explanation accurately reflects the documented project record.

When the project scope transitioned from a renovation to a demolition and new build, there was an early verbal discussion with the AHJ indicating that impact fees would not be required. While that discussion was not documented in writing, it informed the team's understanding at that point in the project.

More importantly, there is **documented evidence of a formal coordination meeting** held during that same period, attended by **three representatives from the City of La Marque**, which was convened specifically to review and confirm **all permitting requirements and checklist items** associated with the revised scope. The meeting minutes and associated approval documentation from that process do **not identify impact analysis or fees as a requirement**, nor were impact fees raised during that review.

In addition, the project subsequently **received a building permit from the City with no mention of any required or pending impact analysis or impact fees**. At the time of permit issuance, there were no conditions, comments, or outstanding items indicating that impact fees would be required.

Given the City's direct participation in the permitting review process, the absence of impact fees from the documented checklist and meeting records, and the issuance of the building permit without reference to impact fees, the project team reasonably relied on the AHJ's guidance and approvals. The later identification of impact fees near the end of the project was unexpected by all parties.

From the architect's standpoint, our role is to coordinate with the AHJ and incorporate jurisdictional requirements as they are identified through formal reviews, checklists, plan comments, and permit conditions. The architect does not independently determine or enforce municipal fee requirements and must rely on the AHJ to identify such obligations during the permitting process.

Based on the documented record and the City's earlier participation in confirming permitting requirements, it is our position that the late identification of impact fees was outside the architect's control and could not reasonably have been anticipated or addressed earlier in the project timeline.

Please let me know if you would like to discuss this further.

Best regards,
Allison



Galveston County Mental Health Wellness Center (GCMHWC) Meeting Minutes

Meeting date: June 24, 2024

Meeting location: 1109 A Bayou Rd., La Marque, TX

Attendees: See attached sign-in sheet

Discussion topic

1 Renovation versus New Building Plans / Permitting

- 1.1 Turner & Townsend Heery, Huitt-Zollars and the Galveston County representatives confirmed that the existing building was demolished after it was discovered that the three sections of the building were not stable, beams were damaged, and additional mechanical equipment required extensive testing to determine if the foundation could support the additional weight. Galveston County Commissioners Court approved the demolition of the building in May.
- 1.2 Donna Rhoades with the City of La Marque Permitting Office will provide a new permit application to William Trotty, Huitt-Zollars. The existing permit will be modified to indicate a full plan review, not just a renovation permit.

2 Plan Submittals

- 2.1 Structural drawings will be included in the overall documents to be submitted to the City of La Marque Permitting Office. Scott Williams with BBG Code will be overseeing the review of the structural drawings along with the building plan review. No separate packaging, or signature block is required.
- 2.2 Williams stressed that the building should be designed for a wind load that meets ASC 7 (~145-147-mile winds). The wind load table should be included on the plans.
- 2.3 The engineer of record is required to sign and seal the foundation plans. Williams noted the plans will not be reviewed until the engineer signs and seals the plans.
- 2.4 Fire Marshal review – Plans were noted as being second in line for review prior to the meeting. If the plans can be submitted this week the plans will remain second in line. Trotty asked for a cut sheet for the blue strobe light that the Fire Marshal requested outside the riser room. Deputy Fire Marshal Hazelgrove stated there was no specific blue light required. Subsequent to the meeting Joel Colwell sent a cut sheet for the Federal Signal Electraflash Strobe Warning Light. Hazelgrove had no objections but recommended reviewing with the fire alarm subcontractor that the strobe would work with the fire alarm control panel prior to issuing the drawings for permit review.
- 2.5 Civil review – Din Ho with Adico LLC asked that drawings clearly state this is a new building, not a remodel. The civil drawings will continue to be issued separately. Din Ho stressed that the engineer

Discussion topic

should communicate any questions regarding comments via an email to him so that the correct information is put on the plans. Harris and Trotty are to be copied on all communications.

3 Testing Requirements

- 3.1 Huitt-Zollars confirmed that the foundation plans have been prepared; however, additional soils samples were needed before the engineer would sign off on the design. Williams stated no specific testing was required by the City; however, the engineer must sign and seal the foundation plans.

4 Permitting Fees

- 4.1 Huitt-Zollars paid \$700 for additional reviews a week prior to being verbally notified that the review process had been halted. These fees will cover the next round of reviews.
- 4.2 If additional reviews are required, the fee will be the difference in cost from the renovation project estimate and the new building project estimate. It was noted that the contractor has not reviewed the plans and therefore has not submitted pricing for the additional work.

5 Schedule

- 5.1 Harris presented a schedule showing the plans being submitted on July 2, 2024, with a maximum of two reviews by the City. The desire was to have a permit issued by August 5, 2024. The project completion should move from November 2024 to November 2025, provided a permit is issued prior to this date. Cesar Garcia stated that the project was important to the City and its residents and asked that the plans be submitted by the end of this week to allow staff time to start their reviews prior to the July 4th holiday week. Subsequent to the meeting, Huitt-Zollars met with their subconsultants to discuss the schedule. Plans are to be submitted to the permitting office by Friday, June 28, 2024.
- 5.2 Revised schedule attached shows a week for reviews since Civil and Fire Marshal reviews were near complete and the footprint of the building will not change. The building plan review had been approved. The architect of record will communicate closely with the structural plan reviewer so that a tight schedule can be maintained.

The above is my recollection of our meeting. Please let me know if disagree with any statements made within the next five days. Otherwise the minutes will stand as written.



LaJuan A. Harris, CCM PMP EIT
Senior Project Manager
10777 Westheimer Rd, Suite 1160, Houston, Texas 77042
+1 (281) 384 9578 | www.turnerandtowntsend.com | www.heery.com



Turner & Townsend Inc

EXHIBIT A



GCMHWC - Overall Schedule

	ACTIVITIES		2024												2025											
			J	F	M	A	M	J	J	A	S	O	M	D	J	F	M	A	M	J	J	A	S	O	M	D
1	Construction Document's to City	Jan. 24, 2024	★																							
2	Civil Plans to City	Feb. 5, 2024	★																							
3	Building Award	Feb. 19, 2024	★																							
4	Civil Plan invoice (provided & HZ informed plans were ready for review)	Feb. 27, 2024	★																							
4	Civil plan review comments received	Feb. 27, 2024	★																							
5	Building Plans reissued to City	Feb. 29, 2024	★																							
6	Contractor (CLTD) NTP	Mar. 1, 2024	★																							
7	Building application (County & Contractor info required)	Mar. 1, 2024	★																							
8	Requested resubmittal of building application (additional info requested)	Mar. 19, 2024	★																							
9	Requested resubmittal of building application (additional info requested)	Mar. 21, 2024	★																							
10	Building Plan invoice (provided & HZ informed plans were ready for review)	Mar. 27, 2024	★																							
11	Galveston County pays for Building & Fire Department Review fees	Apr. 2, 2024	★																							
12	Fire Marshal comments ("2")	Apr. 8, 2024	★																							
13	Fire Marshal corrections submitted (Single sheet returned to the Fire Marshal).	Apr. 10, 2024	★																							
14	Building Review comments received	Apr. 16, 2024	★																							
15	Building review response submitted	Apr. 18, 2024	★																							
16	New Building Review comments	Apr. 29, 2024	★																							
17	HZ responds to building permit comments & responds to civil comments.	Apr. 29, 2024	★																							
18	Permitting sends HZ civil comments to reviewer.	Apr. 30, 2024	★																							
19	Building Permit approved.	May. 4, 2024	★																							
20	Fire Marshal - new comments ("10") & request for all drawings to be submitted	May. 6, 2024	★																							
21	HZ receives conflicting comments from ACIO for civil review.	May. 7, 2024	★																							
22	New Fire Marshal comments ("3")	May. 22, 2024	★																							
23	HZ notified Building Permit approved.	May. 29, 2024	★																							
24	Fire Marshal - resubmitted	Jun. 3, 2024	★																							
25	Civil resubmitted	Jun. 3, 2024	★																							
26	HZ pays recheck fees for Civil and Fire Marshal reviews	Jun. 4, 2024	★																							
27	Verbal from City staff that all plans rejected, waiting on new plans/ fees.	Jun. 13, 2024	★																							
28	Proposed Permitting Schedule	6/24/24 - 7/28/24																								
29	Building Construction	3/1/24 - 8/31/25																								
30	Final Inspections (Structural & Fire Marshal)	9/1/24 - 9/30/25																								
31	Permit Closure	10/1/25 - 10/31/25																								
32	Certificate of Occupancy Issuance	11/1/25 - 11/30/25																								

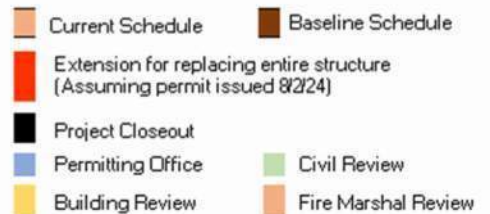


EXHIBIT A



GCMHWC - Condensed Permitting Schedule

ACTIVITIES	Date Day	Jun-24							Jul-24																																
		23	24	25	26	27	28	29	30	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	
		Day																																							
Meeting w/City- Re: Permit	Jun. 24, 2024		★																																						
Full building CD to City	Jun. 28, 2024						★																																		
La Marque 1st review	Jul. 1 - 9, 2024									■	■	■	■	■			■	■																							
HZ revisions per comments	Jul. 10-16, 2024																		■	■	■	■			■	■															
La Marque 2nd review	Jul. 17- 23, 2024																									■	■	■	■			■	■								
Building Permit Issued	Jul. 26, 2024																																						★		
		■ Review / Revisions																																							

**Galveston County Mental Health Wellness Center
Permit Coordinating Meeting w/ the City of La Marque
Sign-In Sheet**



**Turner & Townsend
Heery**

NAME/COMPANY	SIGNATURE	PHONE NUMBER	EMAIL ADDRESS
City of La Marque			
Cesar Garcia		409-254-7370	c.garcia@cityoflamarque.org
Donna Rhoades		409-938-9204	r.rhoades@cityoflamarque.org
M. SCOTT WILLIAMS		832-407-5600	SWILLIAMS@BB4CODE.COM
GALVESTON COUNTY			
Mark Garcia			Mark.Garcia@co.galveston.tx.us
Garret Foskit		409-682-4031	Garret.Foskit@co.galveston.tx.us
HUITT-ZOLLARS, INC			
William Trotty		(713) 622-1180	wmtrotty@Huitt-Zollars.com
Daniel Huynh		(713) 622-1180	dhuynh@Huitt-Zollars.com
Jeol Colwell			jcolwell@Huitt-Zollars.com
Allison Marshall			amarshall@Huitt-Zollars.com
TURNER & TOWNSEND HEERY			
Ernest Crawford		(832) 309-2348	Ernest.Crawford@turntown.com
LaJuan Harris		(281) 384-9578	lajuan.harris@turntown.com

Galveston County Mental Health Wellness Center
Permit Coordinating Meeting w/ the City of La Marque
Sign-In Sheet



NAME/COMPANY	SIGNATURE	PHONE NUMBER	EMAIL ADDRESS
THIRD PARTY REVIEWERS & OTHERS			
Din Ho		832-895-1093	dinh@adico-llc.com
Brandon Hazelgrove		409-938-9264	b.hazelgrove@cityoflamarque.org
Scott Williams		832-407-5600	swilliams@bbgcode.com
Alex Getty			agetty@imedc.com

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Minutes

Client: Galveston County

Project: Mental Health Crisis Facility

Meeting date: May 17, 2024

Meeting location: 174 Calder Dr. League City, TX and via TEAMS

Meeting title: City of La Marque update

In-person Attendees

Mark Garcia	Galveston County (GC)	MG
Garrett Foskit	Galveston County (GC)	GF
William Trotty	Huitt-Zollars (HZ)	WT
Jeff Medley	Construction LTD (CLTD)	JM
LaJuan Harris	Turner & Townsend Heery (T&TH)	LH

VIA TEAMS

Jacques Gilbert	Dally + Associates, Inc. (DA)	JG
Ali Molaei	Dally + Associates, Inc. (DA)	AM

Signed:



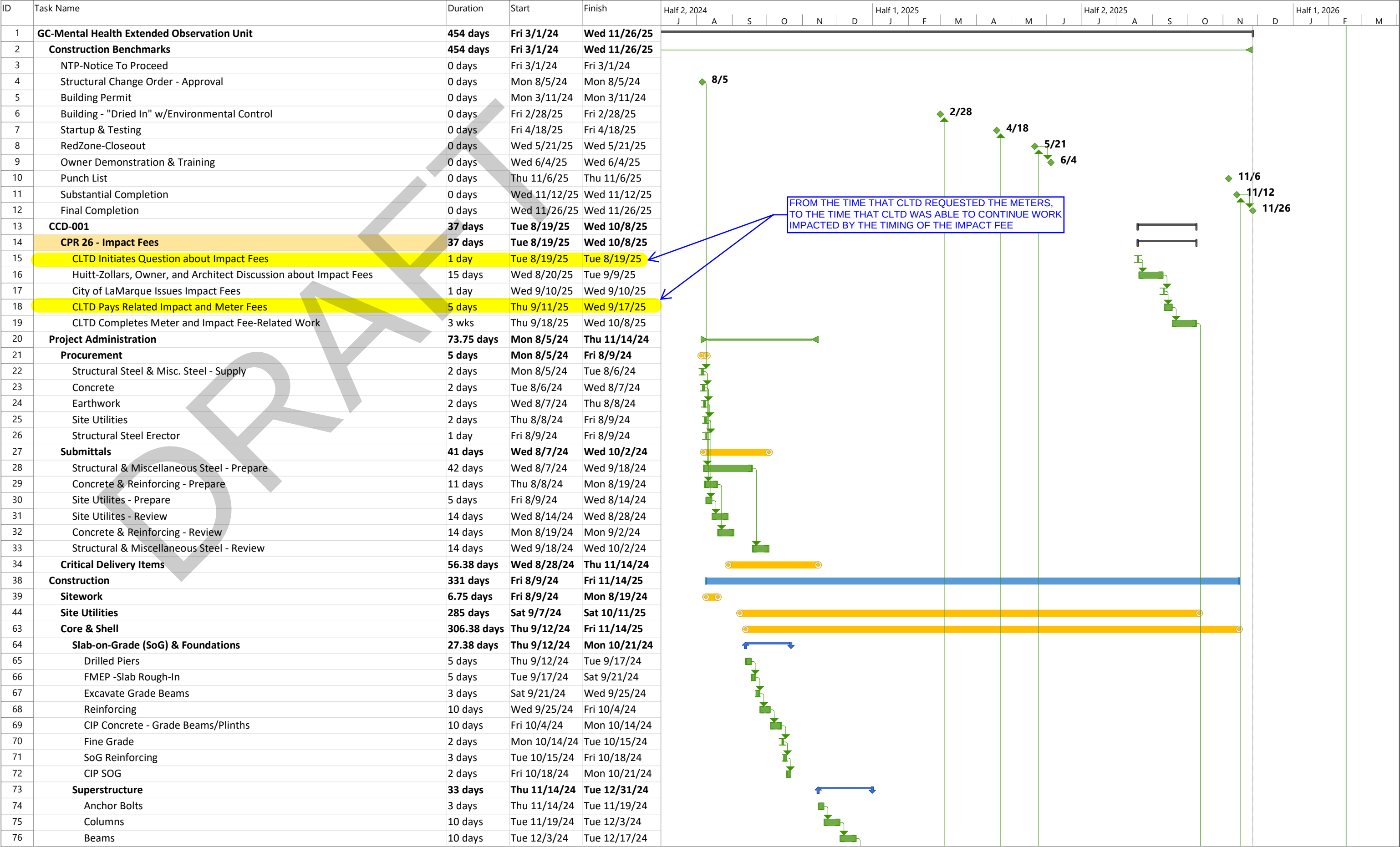
Date: May 17, 2024

Minutes

Discussion topic	Action
1 General Discussion	
1.1 Mark and Garrett provide an update from their May 15, 2024 meeting with the City of La Marque.	WT
1.2 William will confirm with the City of La Marque the structural plan reviewer. He will also confirm if a signature block is needed for other plan reviewers besides what is needed by the Fire Marshal.	WT
1.3 Geotechnical information is available from the parking lot of the Medical Examiner's Office and from cores that were drilled at the Mental Health Wellness Center. William to contact the geotechnical provider to determine if information from one or both can be used by the structural engineer to design the piers and foundation for the facility.	
2 Fire Marshall- Plan Review	
2.1 Fire Marshall will need a signature block on each page of the documents.	JG
2.2 Any door delay or electromagnetic information needs to be included in the plans. Doors must be clearly identified as fire doors.	WT
2.3 Access control must work with fire control. Mark and Garrett to engage Gulf Coast in conversation regarding. LaJuan noted that several emails had been sent regarding this issue with no definitive response from Gulf Coast. Gulf Coast team members who have been engaged on the subject include Robert Edeker, Pamela Mescall, Devon Stanley, Jerry Freshour and Tyler Hanna. Terrance Hoyte with the County is also included on these emails.	MG GF
3 Civil – Plan Review	
3.1 William noted that this facility if not considered a critical care facility.	
3.2 Elevation requirement must be met.	WT
3.3 New smart water meters are required and may be a long lead item to receive.	JG
3.4 Need to have plan reviewer confirm in writing that a split system is allowed. The domestic and fire water will be on the split system if allowed. Jacques submitted an email to the civil plan reviewer after the meeting. A separate meter will be set up for the irrigation system so that the County can monitor usage.	JG
3.5 Jacques reviewing plans received from Lisa Butler with County to determine where the sewer and water connections are located. Lisa previously worked for the City of La Marque and had access to civil plans related to our project site. If plans received from Lisa do not provide the information needed to provide needed information to the plan review, then Jacques will draft a request for CLTD to provide testing to determine the needs.	JG
3.6	

Minutes

Discussion topic	Action
4 Building – Plan Review	
4.1 Mark and Garrett request prompt answering of all outstanding permit questions required by the city and if clarification is needed to better answer a question, the City should be contacted for that information. If a liaison with the city is wanted, then Mark and Garrett may be available to assist.	JG WT



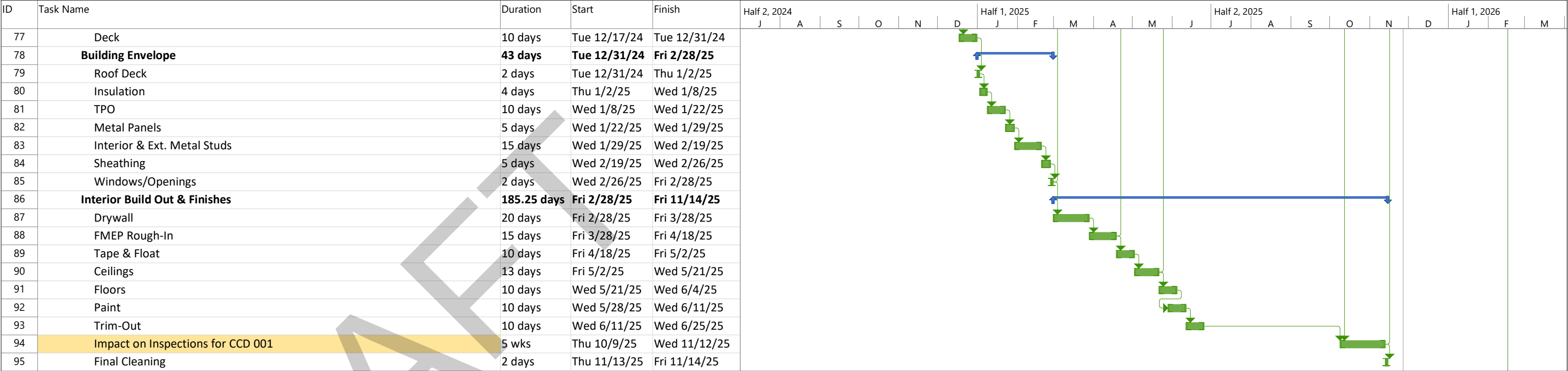


EXHIBIT A

CPR 27 – Cost Breakdown & Justification (Spray Foam Insulation at Front Vestibule)

Description of Change:

Spray foam insulation at vestibule area as outlined on attached backup

ITEM #	DESCRIPTION	QTY	UNIT	SUB	GC MTL	GC LABOR	GC EQUIP	SUBTOTAL
1	Division 07 - Spray Foam at Vestibule	1	LS	4,684.80				\$4,684.80
SAFETY								\$0.00
PRINTING COST								\$0.00
LAYOUT								\$0.00
CLEAN UP & TEMPORARY PROTECTION					\$1,750.00	\$500.00		\$2,250.00
GENERAL CONDITIONS - SITE						\$0.00		\$0.00
SUPERVISION - SITE ONLY							\$0.00	\$0.00
COLUMN TOTALS				\$4,684.80	\$1,750.00	\$500.00	\$0.00	\$6,934.80
SUBCONTRACTORS TOTAL								\$4,684.80
GENERAL CONTRACTORS MATERIAL								\$1,750.00
GENERAL CONTRACTORS LABOR								\$500.00
GENERAL CONTRACTORS EQUIPMENT								\$0.00
SS/INS/FRINGES @ 45%								\$1,012.50
SUBTOTAL								\$7,947.30
GENERAL LIABILITY/UMBRELLA (.33%)								\$26.23
PERFORMANCE & PAYMENT BOND (.875%)								\$69.54
GENERAL CONTRACTORS OVERHEAD (5%)								\$397.37
GENERAL CONTRACTORS PROFIT (10%)								\$794.73
TOTAL								\$9,235.16

Isolated Schedule Impact	
Impact to Substantial Completion (Days)	49
Updated Substantial Completion	7/30/2025
Impact to Final Completion (Days)	232
Updated Final Completion	1/29/2026

CPR 27 - Huitt-Zollars Notes

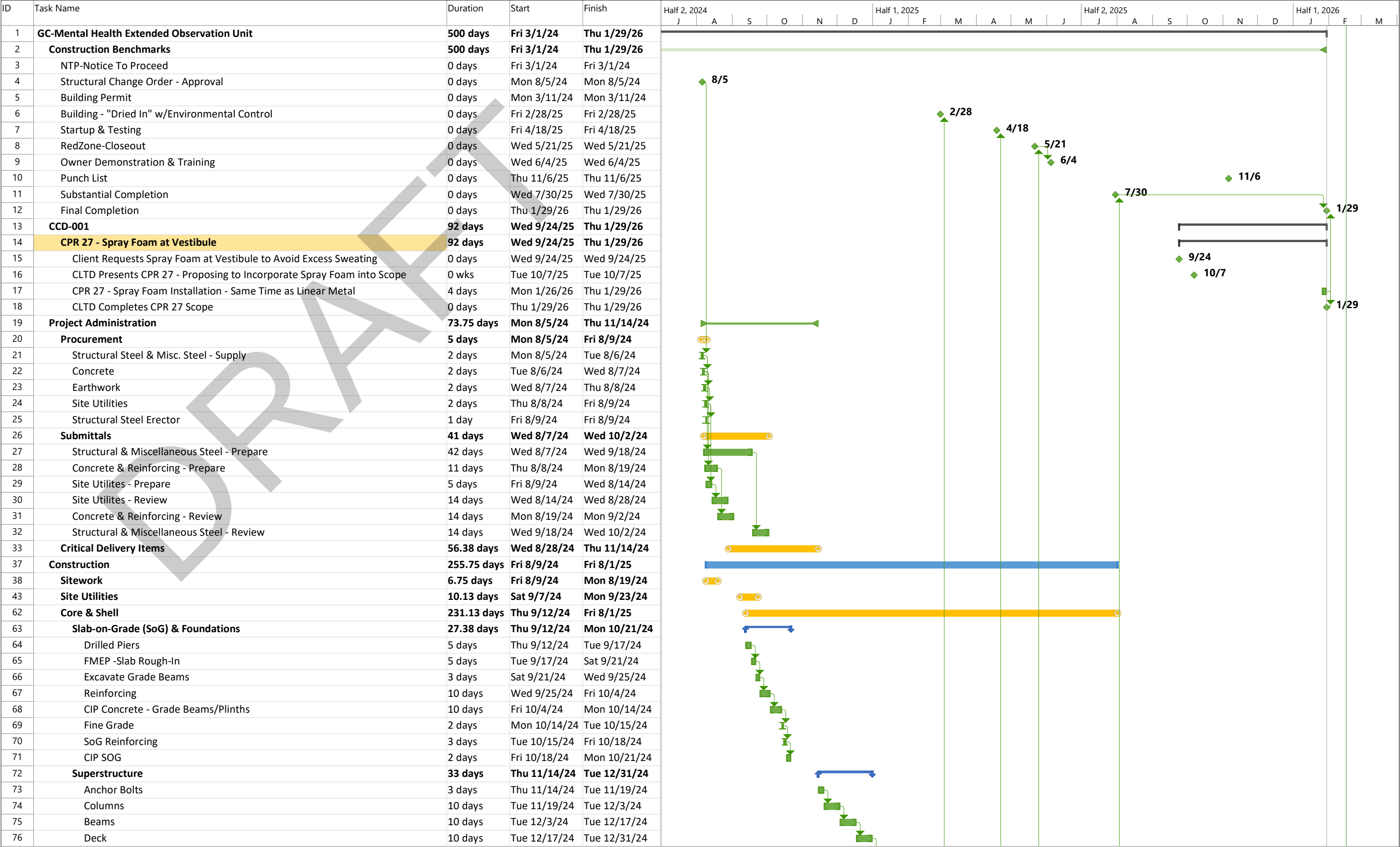
Scope of CPR 27 (Spray Foam Insulation at Entry Vestibule):

CPR 27 provides **closed-cell spray foam insulation** at the **front entry vestibule ceiling/roof area** to address a thermal envelope condition requiring additional insulation performance. The work includes installation of approximately **2 inches of polyurethane spray foam** across the vestibule roof deck/ceiling surface to support required thermal resistance and mitigate condensation potential.

This scope was coordinated in the field and incorporated into the project through **CCD-001** (not issued as a standalone plan revision). The total cost for CPR 27 is **\$9,235.16**, supported by the insulation subcontractor's lump-sum quote and Contractor markups per the contract.

Justification & Responsibility:

CPR 27 reflects a **field coordination / late-stage verification-driven revision** to confirm the



GCMHWC - Isolated CPR 27 Schedule - 2/16/2026

ID	Task Name	Duration	Start	Finish	Half 2, 2024							Half 1, 2025					Half 2, 2025					Half 1, 2026				
					J	A	S	O	N	D	J	F	M	A	M	J	J	A	S	O	N	D	J	F	M	
77	Building Envelope	43 days	Tue 12/31/24	Fri 2/28/25																						
78	Roof Deck	2 days	Tue 12/31/24	Thu 1/2/25																						
79	Insulation	4 days	Thu 1/2/25	Wed 1/8/25																						
80	TPO	10 days	Wed 1/8/25	Wed 1/22/25																						
81	Metal Panels	5 days	Wed 1/22/25	Wed 1/29/25																						
82	Interior & Ext. Metal Studs	15 days	Wed 1/29/25	Wed 2/19/25																						
83	Sheathing	5 days	Wed 2/19/25	Wed 2/26/25																						
84	Windows/Openings	2 days	Wed 2/26/25	Fri 2/28/25																						
85	Interior Build Out & Finishes	110 days	Fri 2/28/25	Fri 8/1/25																						
86	Drywall	20 days	Fri 2/28/25	Fri 3/28/25																						
87	FMEP Rough-In	15 days	Fri 3/28/25	Fri 4/18/25																						
88	Tape & Float	10 days	Fri 4/18/25	Fri 5/2/25																						
89	Ceilings	13 days	Fri 5/2/25	Wed 5/21/25																						
90	Floors	10 days	Wed 5/21/25	Wed 6/4/25																						
91	Paint	10 days	Wed 5/28/25	Wed 6/11/25																						
92	Trim-Out	10 days	Wed 6/11/25	Wed 6/25/25																						
93	Impact on Inspections for CCD 001	5 wks	Wed 6/25/25	Wed 7/30/25																						
94	Final Cleaning	2 days	Wed 7/30/25	Fri 8/1/25																						

EXHIBIT A

CPR 28 – Cost Breakdown (Additional Security Cameras)

Description of Change:

Two (2) additional cameras and the moving of one(1) camera

ITEM #	DESCRIPTION	QTY	UNIT	SUB	GC MTL	GC LABOR	GC EQUIP	SUBTOTAL
1	Division 28 - Additional Cameras - RAE Security	1	LS	7,070.59				\$7,070.59
SAFETY								
PRINTING COST								
LAYOUT								
CLEAN UP & TEMPORARY PROTECTION								
GENERAL CONDITIONS - SITE								
SUPERVISION - SITE ONLY								
COLUMN TOTALS				\$7,070.59	\$0.00	\$750.00	\$0.00	\$7,820.59
SUBCONTRACTORS TOTAL								
GENERAL CONTRACTORS MATERIAL								
GENERAL CONTRACTORS LABOR								
GENERAL CONTRACTORS EQUIPMENT								
SS/INS/FRINGES @ 45%								
SUBTOTAL								
GENERAL LIABILITY/UMBRELLA (.33%)								
PERFORMANCE & PAYMENT BOND (.875%)								
GENERAL CONTRACTORS OVERHEAD (5%)								
GENERAL CONTRACTORS PROFIT (10%)								
TOTAL								

Isolated Schedule Impact	
Impact to Substantial Completion (Days)	49
Updated Substantial Completion	7/30/2025
Impact to Final Completion (Days)	134
Updated Final Completion	10/23/2025

CPR 28 - Huitt-Zollars Notes

Scope of CPR 28 (Exterior CCTV Camera Additions/Relocation):

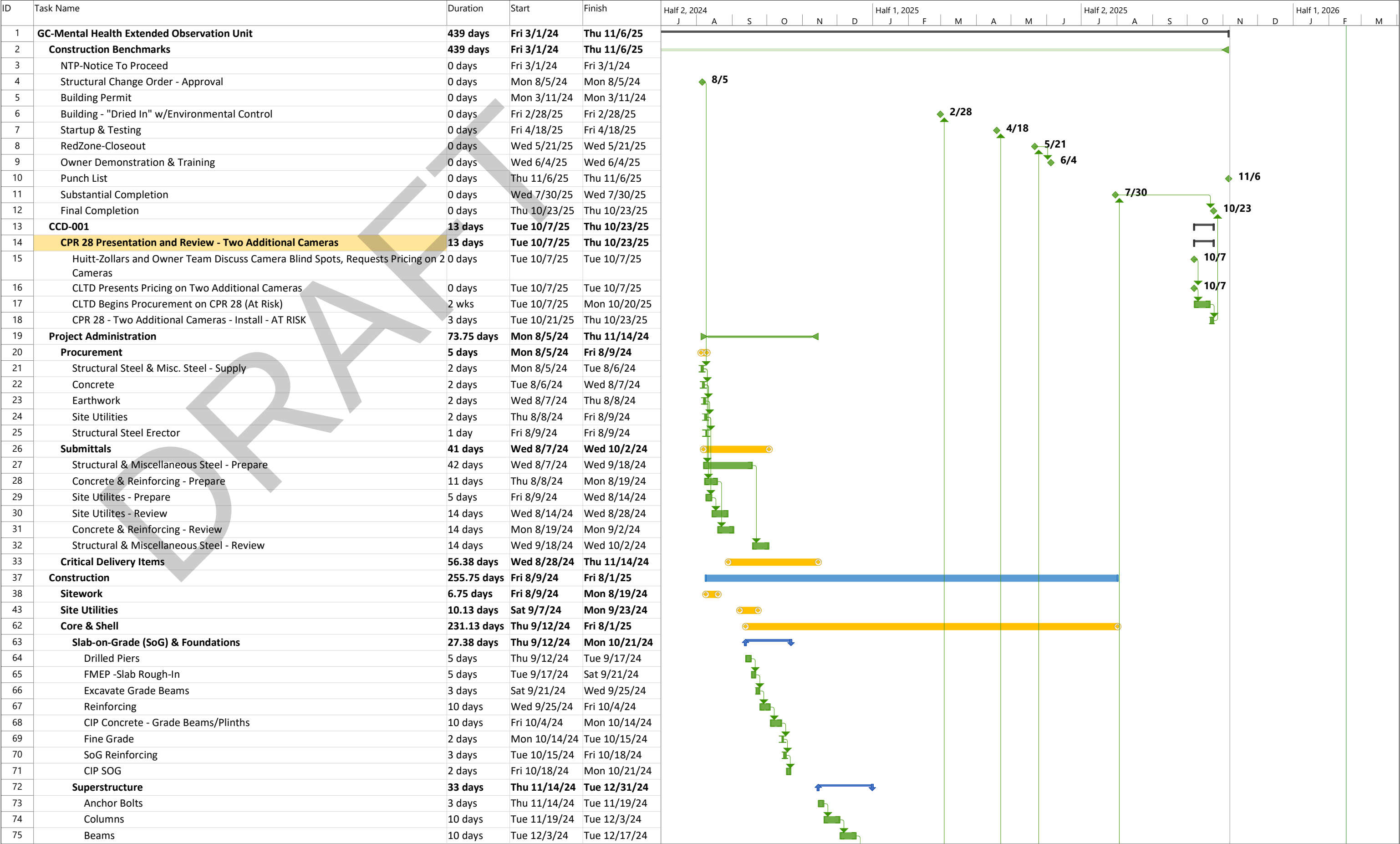
CPR 28 incorporates **Owner-directed security system modifications** consisting of the installation of **two**

This scope was coordinated as a minor security enhancement and included in **CCD-001** (not issued as a

Justification & Responsibility:

CPR 28 reflects an **Owner-requested security enhancement** identified during final

The Contractor coordinated pricing through the low-voltage subcontractor, and the scope was



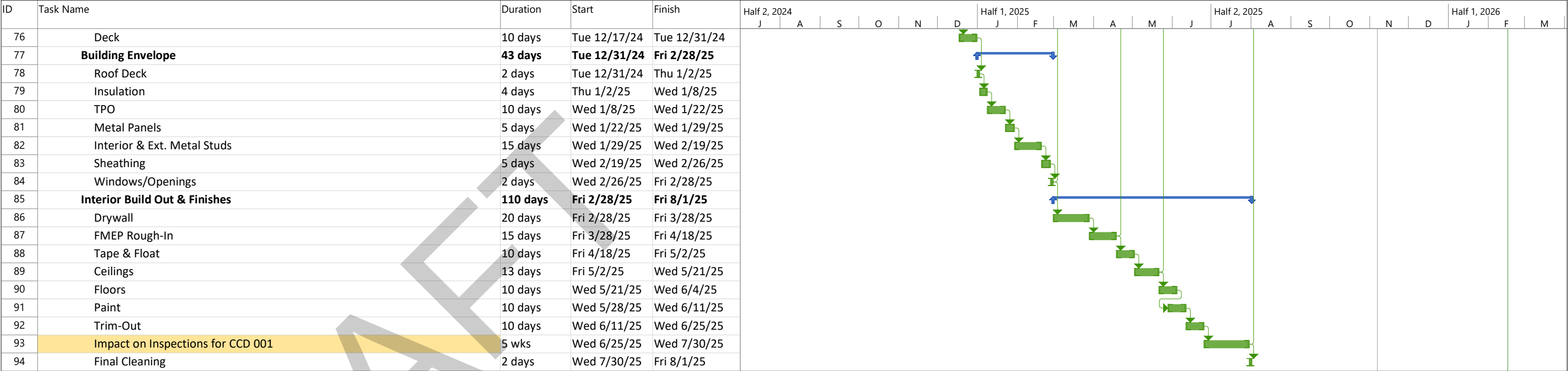


EXHIBIT A

CPR 29 – Finish Item Allowance (Not-to-Exceed \$7,500)

Description of Change:

Finish-out allowances including:

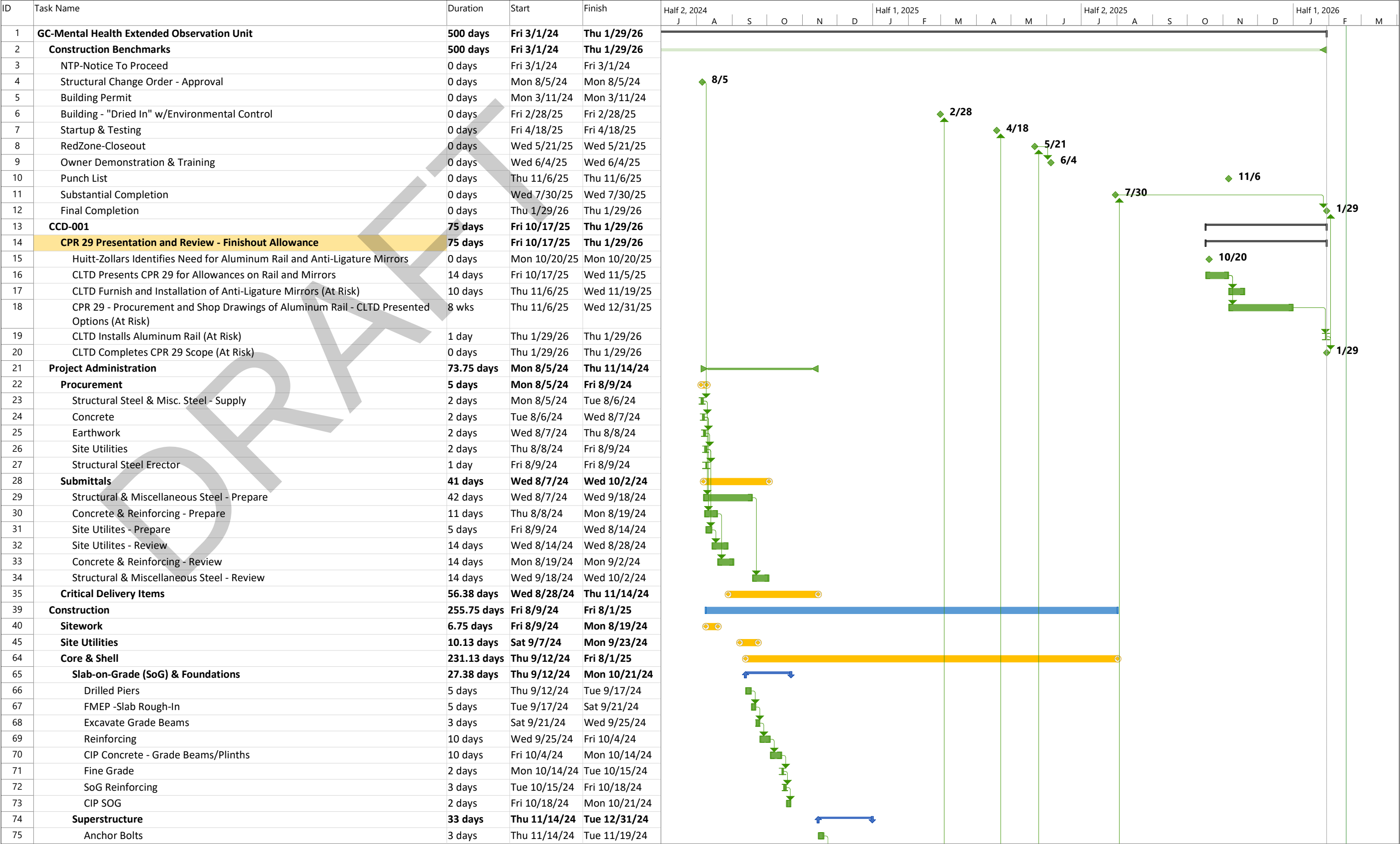
Loading Dock Handrail Modifications - \$5,000

Anti-ligature Security Mirrors - \$2,500

ITEM #	DESCRIPTION	QTY	UNIT	SUB	GC MTL	GC LABOR	GC EQUIP	SUBTOTAL
1	Loading Dock Handrail Modifications	1	LS	5,000.00				\$5,000.00
	Anti-Ligature Security Mirrors	1	LS	2,500.00				\$2,500.00
SAFETY								\$0.00
PRINTING COST								\$0.00
LAYOUT								\$0.00
CLEAN UP & TEMPORARY PROTECTION						\$0.00		\$0.00
GENERAL CONDITIONS - SITE						\$0.00		\$0.00
SUPERVISION - SITE ONLY							\$0.00	\$0.00
COLUMN TOTALS				\$7,500.00	\$0.00	\$0.00	\$0.00	\$7,500.00
SUBCONTRACTORS TOTAL								\$7,500.00
GENERAL CONTRACTORS MATERIAL								\$0.00
GENERAL CONTRACTORS LABOR								\$0.00
GENERAL CONTRACTORS EQUIPMENT								\$0.00
SS/INS/FRINGES @ 45%								\$0.00
SUBTOTAL								\$7,500.00
RATES APPLIED TO SUBCONTRACTOR COSTS IN THE ALLOWANCES								
GENERAL LIABILITY/UMBRELLA (.33%)								\$0.00
PERFORMANCE & PAYMENT BOND (.875%)								\$0.00
GENERAL CONTRACTORS OVERHEAD (5%)								\$0.00
GENERAL CONTRACTORS PROFIT (10%)								\$0.00
TOTAL								\$7,500.00

Isolated Schedule Impact	
Impact to Substantial Completion (Days)	49
Updated Substantial Completion	7/30/2025
Impact to Final Completion (Days)	232
Updated Final Completion	1/29/2026

CPR 29 - Huitt-Zollars Notes



GCMHWC - Isolated CPR 29 Schedule - 2/16/2026

ID	Task Name	Duration	Start	Finish	Half 2, 2024							Half 1, 2025					Half 2, 2025							Half 1, 2026			
					J	A	S	O	N	D		J	F	M	A	M	J	J	A	S	O	N	D	J	F	M	
76	Columns	10 days	Tue 11/19/24	Tue 12/3/24																							
77	Beams	10 days	Tue 12/3/24	Tue 12/17/24																							
78	Deck	10 days	Tue 12/17/24	Tue 12/31/24																							
79	Building Envelope	43 days	Tue 12/31/24	Fri 2/28/25																							
80	Roof Deck	2 days	Tue 12/31/24	Thu 1/2/25																							
81	Insulation	4 days	Thu 1/2/25	Wed 1/8/25																							
82	TPO	10 days	Wed 1/8/25	Wed 1/22/25																							
83	Metal Panels	5 days	Wed 1/22/25	Wed 1/29/25																							
84	Interior & Ext. Metal Studs	15 days	Wed 1/29/25	Wed 2/19/25																							
85	Sheathing	5 days	Wed 2/19/25	Wed 2/26/25																							
86	Windows/Openings	2 days	Wed 2/26/25	Fri 2/28/25																							
87	Interior Build Out & Finishes	110 days	Fri 2/28/25	Fri 8/1/25																							
88	Drywall	20 days	Fri 2/28/25	Fri 3/28/25																							
89	FMEP Rough-In	15 days	Fri 3/28/25	Fri 4/18/25																							
90	Tape & Float	10 days	Fri 4/18/25	Fri 5/2/25																							
91	Ceilings	13 days	Fri 5/2/25	Wed 5/21/25																							
92	Floors	10 days	Wed 5/21/25	Wed 6/4/25																							
93	Paint	10 days	Wed 5/28/25	Wed 6/11/25																							
94	Trim-Out	10 days	Wed 6/11/25	Wed 6/25/25																							
95	Impact on Inspections for CCD 001	5 wks	Wed 6/25/25	Wed 7/30/25																							
96	Final Cleaning	2 days	Wed 7/30/25	Fri 8/1/25																							

EXHIBIT B

The following is a detailed breakdown of the additional required meetings and time to support the extended CA duties for the project.

Huitt-Zollars Hours R316595.02									
Huitt-Zollars		Wage Rates		NO. OF HOURS	REVISED HZ FEE (EXTENDED SCHEDULE)				
Galveston County - Hourly Rates		2025		2025	Cost EXTENSION				
				06.11.25-01.13.26 (31.5 wks)					
Principal/ Principal-In-Charge	Colwell/ Allison Marshall	\$ 325.00		30	\$ 9,750	Additional 10 Weeks of CA Phase Tasks			
Sr. Project Manager		\$ 315.00		0	\$ -				
Quality Manager		\$ 300.00		0	\$ -				
Project Manager	Michael Rennard	\$ 245.00		60	\$ 14,700	Additional 20 Weeks of CA Phase Tasks			
Sr. Architect	Daniel Huynh	\$ 250.00		120	\$ 30,000	Additional 30 Weeks of CA Phase Tasks			
Architect		\$ 200.00							
Architect Intern 1		\$ 110.00							
Architect Intern 2	Ashley Feyes	\$ 125.00		20	\$ 2,500	Additional 8 Weeks of CA Phase Tasks			
Architect Intern 3		\$ 155.00							
Sr. Planner		\$ 315.00							
Planner		\$ 165.00							
Sr. Designer		\$ 175.00							
Interior Designer		\$ 125.00							
Interior Designer Intern		\$ 100.00							
Project Support		\$ 100.00							
Additional Trips 28 (3.5 Hrs / trip)				230	\$ 56,950.00			SUB TOTAL ADDITIONAL 30 WEEKS CA	
Sr. Architect	Daniel Huynh	\$ 250.00		98	\$ 24,500.00	Cost based on 28 Additional Trips to Site for OAC			
							\$ 81,450.00	SUB TOTAL ADDITIONAL MEETINGS ON SITE + ADDITIONAL 30 WEEKS CA.	
				\$ 81,450.00				HUITT-ZOLLARS COST	
							</		

CHANGE PROPOSAL REQUEST W1

Date: 05/15/26

Provide New Dumpster Enclosure to provide a 10' wide clear opening for dumpster.

ITEM #	DESCRIPTION	QTY	UNIT	SUB	GC MTL	GC LABOR	GC EQUIP	SUBTOTAL
1	Division 03 - Concrete and Demo Dumpster Enclosure	1	LS	2,750.00				\$2,750.00
2	Division 05 - Steel Fab - MSD Building Co	1	LS	5,633.00				\$5,633.00
3	Division 05 - Steel Install - Gulf Coast Erectors	1	LS	2,250.00				\$2,250.00
4	Division 09 - Paint Dumpster Enclosure	1	LS	450.00				\$450.00
SAFETY								\$0.00
PRINTING COST								\$0.00
LAYOUT								\$0.00
CLEAN UP				\$650.00				\$650.00
GENERAL CONDITIONS - SITE						\$0.00		\$0.00
SUPERVISION - SITE ONLY							\$0.00	\$0.00
COLUMN TOTALS				\$11,733.00	\$0.00	\$0.00	\$0.00	\$11,733.00
SUBCONTRACTORS TOTAL								\$11,733.00
GENERAL CONTRACTORS MATERIAL								\$0.00
GENERAL CONTRACTORS LABOR								\$0.00
GENERAL CONTRACTORS EQUIPMENT								\$0.00
SS/INS/FRINGES @ 45%								\$0.00
SUBTOTAL								\$11,733.00
GENERAL LIABILITY/UMBRELLA (.33%)								\$38.72
PERFORMANCE & PAYMENT BOND (.875%)								\$0.00
GENERAL CONTRACTORS OVERHEAD (5%)								\$586.65
GENERAL CONTRACTORS PROFIT (10%)								\$1,173.30
TOTAL								\$13,531.67
This Change Proposal Request (CPR) is based solely on direct cost and time elements that can be estimated at this time. We reserve our right to recover additional time and compensable cost under the terms of this contract. OWNER APPROVAL: _____ DATE: _____ NOTE: PROPOSAL IS VALID FOR TEN (10) DAYS.								

MSD BUILDING CORP.

Change Order Form

JOB INFORMATION

Job # 9079

Project Name Gulf Coast GCMHWC

Pricing Event dumpster gate remake

Project City, State La Marque, TX

Change Order # 9079-08

Change Order Amount \$5,633

Contractor Information

Company Construction LTD

Project Manager Jeff Medley

Address 0

City, State ZIP 0

Phone -

Email 0

Scope of Work

cost to remake dumpster gate due to dimension changes.

Not Included

taxes, installation, field measuring.

Schedule

This is Contractor's official notification that the scope of work added to this project by this change will impact the existing production schedule. MSD Building Corp requests **fabrication lead time of (2) weeks (s) after release for fabrication** to accomplish this scope of work.

Company Proposal

See attached cost breakdown for added & removed material .

Submitted by: Sandra Gonzalez

Date: 5/15/2026

Customer Acceptance

Submitted by (authorized representative)

Date

M S D

BUILDING CORP.

Cost Breakdown - Added Scope

List of Materials and Costs

9079-08

Gulf Coast GCMHWC

Description	QTY	Price	Unit	Total
W SHAPE		\$0.88	lbs	\$0.00
Drop		\$0.88	lbs	\$0.00
C SHAPE		\$0.77	lbs	\$0.00
Drop		\$0.77	lbs	\$0.00
PLATE		\$1.38	lbs	\$0.00
ANGLE		\$0.70	lbs	\$0.00
Drop		\$0.70	lbs	\$0.00
TUBE		\$1.35	lbs	\$0.00
Drop		\$1.35	lbs	\$0.00
	0.00		lbs	
dumpster gates	1.00	\$4,000.00	LS	\$4,000.00
Galvanizing		\$0.55	lbs	\$0.00
Freight	1.00	\$550.00	ea.	\$550.00
Fabrication		\$58.00	Hrs	\$0.00
Detailing & Engineering	6.00	\$58.00	Hrs	\$348.00
Subtotal				\$4,898.00
Overhead & Profit			15.00%	\$734.70
Tax			8.25%	
Bond Fee			2.00%	
Grand Total				\$5,632.70

Sam Chenoweth

From: Jake Parmer <jake@gulfcoasterectors.net>
Sent: Wednesday, May 13, 2026 3:13 PM
To: Sam Chenoweth
Subject: Re: GCMHWC - Hanging Dumpster Gates

Hi Sam,

For the dumpster enclosure gates at Gulf Coast Mental Health, we are looking at a ROM price of approximately \$2,250. This covers a three-man crew and a welding machine for one day of work.

Let me know if you need anything else to proceed with the change order.

Best regards,

Jake Parmer

On Wed, May 13, 2026 at 9:40 AM Sam Chenoweth <schenoweth@cltd.net> wrote:

Jake,

The dumpster enclosure out at Gulf Coast Mental Health was designed to be too narrow and the client needs us to price relocating the dumpster enclosure. The process involves hanging two completely new dumpster enclosure gates. Can you please provide a ROM price for this.

Gates would be wet-set by the concrete contractor.

Take a look and let me know. This would be a change order.

Thanks,

Sam

Sam Chenoweth

Project Executive



Office: 713-984-9444

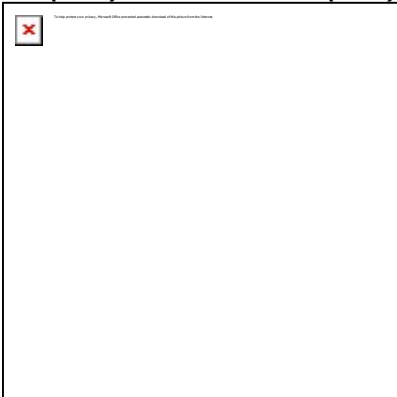
Direct: 713-816-4194

1825 Upland Drive | Houston, Texas 77043

www.cltd.net

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Jake Parmer, COO
Gulf Coast Erectors
Off(281)487-0013 Cell(936)419-6317



Houston 2025

HOURLY RATE SHEET

Engineering/Architecture

Principal	\$ 325.00
Design Principal	\$ 325.00
Sr. Project Manager	\$ 315.00
QA Manager	\$ 300.00
Project Manager	\$ 245.00
Sr. Civil Engineer	\$ 260.00
Sr. Structural Engineer	\$ 270.00
Sr. Mechanical Engineer	\$ 250.00
Sr. Electrical Engineer	\$ 250.00
Civil Engineer	\$ 200.00
Structural Engineer	\$ 200.00
Mechanical Engineer	\$ 200.00
Electrical Engineer	\$ 200.00
Plumbing Engineer	\$ 200.00
Engineer Intern	\$ 155.00
Sr. Architect	\$ 250.00
Sr. NL Architectural Staff	\$ 180.00
Architect	\$ 200.00
Architect Intern 1	\$ 110.00
Architect Intern 2	\$ 125.00
Architect Intern 3	\$ 155.00
NL Architectural Staff	\$ 150.00
Sr. Landscape Architect	\$ 195.00
Landscape Architect	\$ 155.00
Landscape Architect Intern	\$ 115.00
Sr. Planner	\$ 315.00
Planner	\$ 165.00
Planner Intern	\$ 130.00
Sr. Designer	\$ 175.00
Designer	\$ 140.00
Sr. CADD Technician	\$ 160.00
CADD Technician	\$ 110.00

Interior Design

Sr. Interior Designer	\$ 160.00
Interior Designer	\$ 125.00
Interior Designer Intern	\$ 100.00

Survey

Survey Manager	\$ 240.00
Sr. Project Surveyor	\$ 200.00
Project Surveyor	\$ 150.00
Sr. Survey Technician	\$ 130.00
Survey Technician	\$ 120.00

Survey Crews

1-Person Survey Crew	\$ 150.00
2-Person Survey Crew	\$ 190.00
3-Person Survey Crew	\$ 240.00

Construction

Sr. Construction Manager	\$ 220.00
Construction Manager	\$ 195.00
Resident Engineer	\$ 185.00
Sr. Project Representative	\$ 200.00
Resident Project Representative	\$ 140.00

Administrative

Sr. Project Support	\$ 115.00
Project Support	\$ 100.00

Reimbursable Expenses

Consultants	Cost + 10%
Other Direct Costs	Cost + 10%
Mileage	IRS Standard Business Mileage Rate

**Subject to Annual Escalation